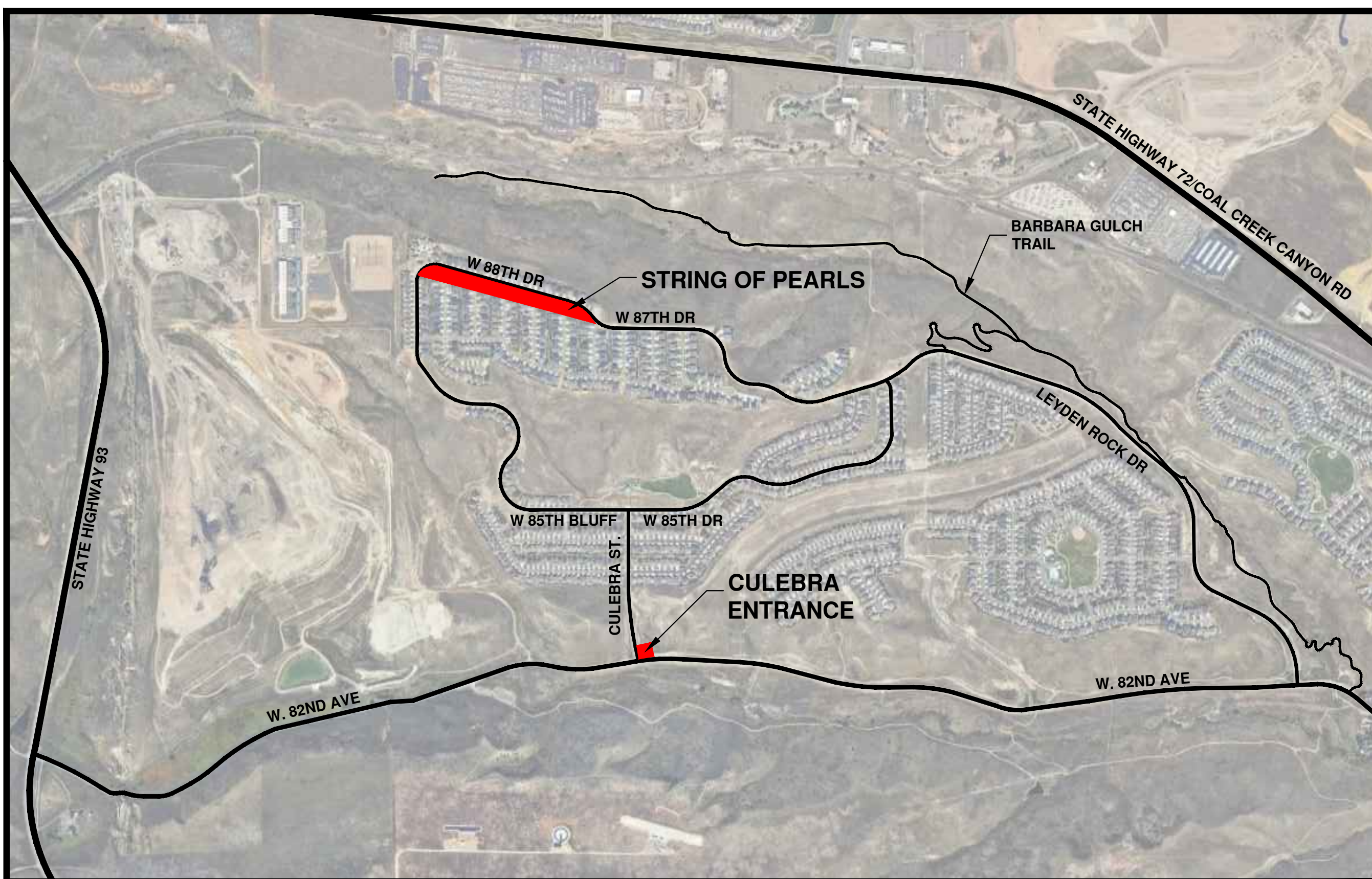


# LEYDEN ROCK COMMUNITY IMPROVEMENTS ARVADA, COLORADO

## FINAL DEVELOPMENT PLAN AMENDMENT FOR DISTRICT OWNED PARCELS

### LEYDEN ROCK METROPOLITAN DISTRICT



### VICINITY MAP

NTS N ↑

#### OWNER CONTACT

**Leyden Rock  
Metropolitan District**  
Contact: Katie Call,  
Community Manager  
PO Box 37039;  
Denver, CO 80237  
(303)-482-2213 ext. 360

#### PRIME CONSULTANT

**LANDSCAPE ARCHITECT**  
ARCHITERRA GROUP  
5881 S. DeFrame St.  
Littleton, CO 80127  
303.948.0766

#### SUBCONSULTANTS

**LAND SURVEYOR:**  
BAILEY PROFESSIONAL  
SOLUTIONS, LLC  
5737 S. Kenton St.  
Englewood, CO 80111  
303.587.1672

**CIVIL ENGINEER:**  
ELEVATION CONSULTING  
GROUP, LTD.  
PO BOX 280869  
Lakewood, CO 80226  
303.913.3543

**GEOTECHNICAL ENGINEER:**  
GROUND ENGINEERING  
41 Inverness Dr., Unit E  
Englewood, CO 80112  
303.289.1989

**STRUCTURAL ENGINEER:**  
SAN ENGINEERING, LLC  
1150 W Littleton Blvd.  
Littleton, CO 80120  
303.953.9014

**IRRIGATION DESIGN:**  
HYDROSYSTEMS, KDI, Inc.  
13949 W Colfax Ave, Suite 260  
Lakewood, CO 80401  
303.980.5327

**ISSUED FOR CONSTRUCTION 02-06-26**

## FILINGS

### LEYDEN ROCK, FILING NO. 4

TRACT N, BLOCK 4, LEYDEN ROCK SUBDIVISION FILING NO 3, A SUBDIVISION RECORDED AT RECEPTION 201308370  
LOCATED IN THE SE ¼ SECTION 23 AND THE N ½ OF SECTION 26, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

### LEYDEN ROCK, FILING NO. 6

BLOCK 16, BLOCK 24, AND TRACT S BLOCK 20, LEYDEN ROCK SUBDIVISION FILING NO1  
BLOCK 10, BLOCK 11, BLOCK 12, BLOCK 13, BLOCK 14, AND BLOCK 15, LEYDEN ROCK SUBDIVISION FILING NO 5  
A PARCEL OF LAND LOCATED IN THE SW ¼ SECTION 27,  
A PORTION OF SECTIONS 22 AND 27, TOWNSHIP 2 SOUTH, RANGE 70 WEST OF THE 6TH P.M.,  
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

## SURVEY INFORMATION

BASIS OF BEARINGS: BEARINGS SHOWN ON THIS SURVEY ARE CONGRUENT WITH THE BEARINGS SHOWN ON THE LEYDEN ROCK SUBDIVISION FILING NO. 1 PLAT AND ARE BASED ON THE ASSUMPTION THAT THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 27 BEARS N89°44'54"W AND IS MONUMENTED AT THE WEST END BY A 3-1/4" ALUMINUM CAP "LS 36561 - 2016" AND AT THE EAST END BY A 3-1/4" ALUMINUM CAP "PLS 13258 - 1997".

BENCHMARK: VERTICAL INFORMATION IS BASED ON BPS SURVEY CONTROL POINT 11, BEING A CUT "X" ON CONCRETE PAD APPROXIMATELY 50' SOUTHWEST OF LEYDEN ROCK PUMP STATION 18035-A ON THE NORTH SIDE OF W 87<sup>TH</sup> DR. ELEV=5946.09 (NAVD88)

### CITY OF ARVADA RESPONSIBILITY STATEMENT

THE CITY OF ARVADA IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN OR DIMENSIONS AND ELEVATIONS ON THE PLANS. THE CITY OF ARVADA'S REVIEW IS FOR GENERAL COMPLIANCE WITH THE CITY OF ARVADA "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS". THE CITY OF ARVADA, THROUGH THE ACCEPTANCE OF THE CONSTRUCTION PLAN OR DRAINAGE REPORT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THE CONSTRUCTION PLAN OR DRAINAGE REPORT. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

### PLA CERTIFICATION BLOCK

"THESE CONSTRUCTION PLANS FOR LEYDEN ROCK WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ARVADA "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS".

*Lesanne Dominguez*

LESANNE DOMINGUEZ, PLA

### ARCHITERRA GROUP

NAME OF FIRM

#### APPROVED:

*Paul Stearns* 10-2-2025 DA2024-0086  
DIRECTOR OF VIBRANT COMMUNITY & NEIGHBORHOODS DATE JOB NUMBER

REVIEW IS FOR GENERAL COMPLIANCE WITH CITY OF ARVADA "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS", LATEST EDITION. SOLE RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS SHALL REMAIN WITH THE REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT SEALING THESE PLANS. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS.

DIRECTOR OF VIBRANT COMMUNITY AND NEIGHBORHOODS



Koriney Harris 10/07/2025  
REVIEWER DATE

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### SITE DATA TABLE

SITE DATA TABLE		
<b>Site Development Information</b>		
Zone District	Planned Unit Development	
Housing Palette	N/A	
Lot Type	N/A	
Total Project Area	42,300 sf	
ROW Dedication	N/A	
<b>Development Standards</b>	<b>Site</b>	<b>Standard</b>
Lot Standards	N/A	
Building and Parking Siting Standards	N/A	
Building Standards	N/A	
Site Standards	N/A	
Parking Standards	N/A	
Proposed Use(s) with Gross Floor Area	N/A	
Dwelling Units	N/A	



**Know what's below.  
Call before you dig.**

**NARRATIVE SUMMARY**

THE LEYDEN ROCK METRO DISTRICT (DISTRICT), WHICH WAS FORMED IN ACCORDANCE WITH THE SPECIAL DISTRICT ACT, OWNS LAND LOCATED IN ARVADA, CO. RECENTLY, THE METRO DISTRICT HAS RECEIVED CAPITAL FUNDS TO IMPROVE COMMUNITY SPACES AND DECIDED TO USE THE FUNDS FOR COMMUNITY IMPROVEMENTS. IN AN AREA THE COMMUNITY CALLS THE "STRING OF PEARLS", PROPOSED AMENITIES INCLUDE PLANTER BEDS, SEATING NOOKS, UNPROGRAMMED FESCUE BLEND LAWNS, A CORNHOLE COURT, PICNIC TABLES, SLACKLINE COURSE, A BOCCIE BALL COURT, A HORSESHOE PIT, CLIMBING BOULDERS, AND DISC GOLF FOR PUTTING PRACTICE ONLY. THESE ADDED AMENITIES PROVIDE THE COMMUNITY WITH PLACES TO GATHER OUTSIDE, SOCIALIZE WITH NEIGHBORS, AND INCREASED RECREATIONAL OPTIONS.

THE CULEBRA STREET ENTRANCE PROJECT INCORPORATES UPDATES TO THE ENTRY MONUMENTS TO BETTER ALIGN WITH THE EXISTING MONUMENTS AT THE OTHER ENTRANCES (YULE WAY AND LEYDEN ROCK DRIVE).

FOR THESE PROJECTS, THERE ARE NO PROPOSED UTILITIES, LIGHTING, OR BUILDINGS. NO MODIFICATIONS OR ADDITIONS TO STREETS, SIDEWALKS, OR PARKING ARE PROPOSED.

**GENERAL NOTES**

- 1. CONTRACTOR SHALL VERIFY ACCURACY OF BASE INFORMATION AND CONDITIONS IN THE FIELD. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR'S BID SHALL BE BASED ON ACTUAL SITE CONDITIONS.
- 2. CALL UTILITY NOTIFICATION CENTER OF COLORADO AT 800-922-1987 OR 811 THREE BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
- 3. SITE SURVEY INFORMATION: LAND SURVEY PREPARED BY BAILEY PROFESSIONAL SOLUTIONS, LLC, CONTACT INFO BELOW.
- 4. LOCATIONS OF UTILITIES ARE GRAPHIC ONLY AND MAY NOT REPRESENT FIELD CONDITIONS. CONTRACTOR SHALL VERIFY LOCATIONS AND BURY DEPTHS OF ALL UTILITIES ON SITE. EXISTING UTILITIES SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 5. ALL CUT AND FILL SLOPES SHALL BE GRADED AS SHOWN ON THE DRAWINGS. ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED. THE MAXIMUM SLOPE FOR LANDSCAPE AREAS IS 4:1 UNLESS OTHERWISE NOTED.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PROJECT PERMITS ASSOCIATED WITH CONSTRUCTION (AT CONTRACTOR'S EXPENSE). THE CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF, NOTIFYING, COORDINATING AND SCHEDULING ALL GRADING CLOSEOUT INSPECTIONS REQUIRED FOR FINAL APPROVAL AND PROJECT ACCEPTANCE. ALL WORK, INCLUDING CORRECTION WORK, IS SUBJECT TO NOTIFICATION AND INSPECTION REQUIREMENTS.
- 7. THE CONTRACTOR SHALL MAINTAIN THROUGH TRAFFIC ON ALL ROADWAYS AT ALL TIMES, VIA FLAGGING IF NECESSARY. THE CONTRACTOR MUST SUBMIT A TRAFFIC CONTROL PLAN FOR CITY OF ARVADA APPROVAL PRIOR TO PERFORMING ANY TRAFFIC CONTROL.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY EXISTING PAVEMENT MARKINGS, SIGNING, TRAFFIC SIGNAL, CONDUIT, OR OTHER TRAFFIC CONTROL DEVICES THAT MAY BE DAMAGED DURING CONSTRUCTION.
- 9. CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN. SEE SPECIFICATIONS FOR GUIDELINES.
- 10. EXISTING TRAILS, AND SIDEWALKS SURROUNDING THE PROJECT SITES WILL REMAIN OPEN TO PUBLIC THROUGHOUT CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFETY AND SECURITY OF THE SITE DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO FLAGGING, BARRIERS AND TEMPORARY FENCING.
- 11. SEED ALL DISTURBED AREAS PER PLANS AND SPECIFICATIONS.
- 12. CONTRACTOR SHALL NOTE PORTIONS OF THIS PROJECT OCCUR IN XCEL ENERGY/PUBLIC SERVICE COMPANY RIGHT-OF-WAY. CONTRACTOR SHALL COORDINATE PERMITS AND CONSTRUCTION AUTHORIZATION WITH XCEL ENERGY

**CITY OF ARVADA GENERAL NOTES**

- 1. ANY PROPOSED FENCES, WALLS, SIGNS AND ACCESSORY STRUCTURES SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY AND SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- 2. FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH AN APPROVED ALL-WEATHER SURFACE (CONCRETE OR ASPHALT) AND SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 85,000 POUNDS.
- 3. THE APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE AFPD. THE FIRE APPARATUS ACCESS ROADS SHALL CONSIST OF THE FIRST LIFT OF ASPHALT OR CONCRETE AND SHALL BE PROVIDED PRIOR TO COMMENCING VERTICAL CONSTRUCTION. ALTERNATIVE TEMPORARY FIRE APPARATUS ACCESS ROAD MATERIALS AND/OR DESIGNS SHALL BE APPROVED AND PERMITTED BY THE AFPD. THE PRIVATE ROADS THROUGH THE SITE SHALL BE DEDICATED ON THE FINAL PLAT AS "FIRE APPARATUS ACCESS ROADS" OR OTHER SIMILAR LANGUAGE AS REQUIRED BY THE CITY OF ARVADA.
- 4. A 3'-0" CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS AND NOT OBSTRUCTED.
- 5. FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL TO PROVIDE THE MINIMUM REQUIRED FIRE FLOW PRIOR TO COMMENCING VERTICAL CONSTRUCTION.
- 6. DURING CONSTRUCTION AND UPON COMPLETION THERE SHALL BE BUILDING SIGNAGE PROVIDED, A MINIMUM OF 0'-4" INCHES HIGH WITH A 0.5" STROKE AND VISIBLE FROM THE STREET OR ROAD FRONTING THAT BUILDING.
- 7. THE CITY OF ARVADA IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE SURVEY DATA SHOWN HEREIN. THE CITY OF ARVADA'S REVIEW IS FOR GENERAL COMPLIANCE WITH ARVADA'S LAND DEVELOPMENT CODE. THE CITY OF ARVADA, THROUGH THE ACCEPTANCE OF THE PLAT/SITE PLAN, ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF PLAT/SITE PLAN. THE ACCURACY OF SURVEY INFORMATION INCLUDING BOUNDARY INFORMATION, MONUMENTATION, LOT LINES, ETC IS THE SOLE RESPONSIBILITY OF THE LICENSED SURVEYOR NAMED HEREIN.

**CITY OF ARVADA CIVIL NOTES**

GENERAL NOTES

- A. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ARVADA "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS", LATEST EDITION, UNLESS OTHERWISE SPECIFIED HEREIN.
- B. ALL MUNICIPAL GENERAL CONTRACTORS SHALL BE LICENSED WITH THE CITY OF ARVADA ENGINEERING DIVISION.
- C. ALL WORK WILL REQUIRE A CITY OF ARVADA ENGINEERING DIVISION RIGHT-OF-WAY (ROW) OR DEVELOPMENT (DEV) PERMIT PRIOR TO THE START OF CONSTRUCTION. ANY CONSTRUCTION WITHIN THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) RIGHT-OF-WAY WILL REQUIRE A CDOT CONSTRUCTION PERMIT PRIOR TO ANY WORK IN THEIR RIGHT-OF-WAY.
- D. ALL CONTRACTORS AND SUBCONTRACTORS SHALL HAVE A SET OF APPROVED DRAWINGS SIGNED BY THE CITY ENGINEER OR DESIGNEE AND A COPY OF THE CURRENT CITY OF ARVADA "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS" ON SITE AT ALL TIMES.
- E. INSPECTIONS MUST BE SCHEDULED FOR EVERY DAY THAT CREWS ARE WORKING. INSPECTIONS ARE COMPLETED ON A DAILY BASIS MONDAY THROUGH FRIDAY BETWEEN 8:00 AM AND 3:00 PM, AND MUST BE SCHEDULED ONLINE BY 6:00 AM THE DESIRED DAY OF INSPECTION. TO SCHEDULE INSPECTIONS PLEASE VISIT ARVADAPERMITS.ORG.
- F. SUE REQUIREMENTS SHALL BE MET PRIOR TO PROJECT APPROVAL. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND TO PROTECT THEM DURING CONSTRUCTION.
- G. THE CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, TRENCH EXCAVATION AND SHORING, TRAFFIC CONTROL AND SECURITY.
- H. BENCHMARK LOCATION, ELEVATION AND DATUM ARE AS NOTED.
- I. AS-BUILT DRAWINGS SHOWING ALL CHANGES FROM THE APPROVED CONSTRUCTION DRAWINGS PER SECTION 222.00 OF THE ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE CITY OF ARVADA ENGINEERING WARRANTY DIVISION PRIOR TO INITIATION OF THE REQUIRED TWO YEAR WARRANTY PERIOD. UTILITY AS-BUILTS SHALL INCLUDE STATIONING OF ALL FITTINGS, SERVICES AND PERTINENT ELEVATIONS. BUILDING PERMITS FOR ANY BUILDINGS OR STRUCTURES WITHIN THE DEVELOPMENT WILL NOT BE ISSUED UNTIL THE PROJECT IS IN INITIAL WARRANTY.
- J. PUBLIC IMPROVEMENT TAX WILL ALSO BE COLLECTED AT TIME OF PERMIT. USE TAX IS CALCULATED ON THE JOB VALUE PROVIDED ON YOUR APPLICATION. SALES AND USE TAX IS REQUIRED BY LAW ON ALL MATERIALS AND EQUIPMENT INCORPORATED IN OR USED IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR/DEVELOPER IS SUBJECT TO AUDITS ON THESE TAXES. ONCE THE PERMIT IS ISSUED, PLEASE USE THE PERMIT WHEN PURCHASING GOODS AND MATERIALS FOR YOUR PROJECT. IF YOU ARE AN ARVADA BUSINESS LICENSE HOLDER YOU CAN SUBMIT YOUR BUSINESS LICENSE NUMBER FOR QUARTERLY REPORTING. IF THE PROJECT IS TAX EXEMPT, YOU WILL NEED TO INCLUDE YOUR PROJECT SPECIFIC TAX EXEMPT FORM OR THE PERMIT WILL NOT BE ISSUED UNTIL THIS FORM HAS BEEN RECEIVED, REVIEWED AND APPROVED BY THE CITY OF ARVADA ENGINEERING DIVISION.
- K. OWNER/DEVELOPER SHALL OBTAIN A STORMWATER CONSTRUCTION PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, PRIOR TO CLEARING, GRADING, OR EXCAVATING A SITE OF ONE (1) ACRE OR MORE OR LESS THAN ONE ACRE AND PART OF A LARGER DEVELOPMENT. A COPY OF THE APPROVED PERMIT MUST BE SUBMITTED TO THE CITY OF ARVADA ENGINEERING DIVISION PRIOR TO THE START OF CLEARING, GRADING OR EXCAVATING OF THE SITE. A COPY OF THE APPROVED PERMIT MUST ALSO BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- L. CONTRACTOR SHALL OBTAIN A COLORADO STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT FOR ALL AREAS WHERE DEWATERING IS REQUIRED FROM AN EXCAVATION AND WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES. A COPY OF THE APPROVED PERMIT MUST BE SUBMITTED TO THE CITY OF ARVADA ENGINEERING DIVISION PRIOR TO THE START OF ANY DEWATERING. A COPY OF THE APPROVED PERMIT MUST ALSO BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- M. ALL CURB RAMPS SHALL COMPLY WITH THE LATEST ADA STANDARD.
- N. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF ARVADA ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS".
- O. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE CITY OF ARVADA ENGINEERING DIVISION FOR ACCEPTANCE WITH THE ROW OR DEV PERMIT APPLICATION. NO PERMITS WILL BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL ON EXISTING ROADS DURING CONSTRUCTION.
- P. CONTRACTOR SHALL VERIFY ACCURACY BETWEEN WORK SET FORTH ON THESE CONSTRUCTION DOCUMENTS AND WORK REQUIRED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER WHEN APPLICABLE. PRIOR TO START OF CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.

STREET

- A. CONTRACTOR SHALL HAVE ON SITE A COPY OF THE CITY OF ARVADA APPROVED SUBGRADE SOILS AND PAVEMENT DESIGN REPORT SHOWING MINIMUM REQUIRED SUBGRADE PREPARATION REQUIREMENTS AND MINIMUM REQUIRED PAVEMENT THICKNESSES.
- B. ALL TRENCH BACKFILL AND SUBGRADE PREPARATION SHALL BE TESTED TO ENSURE COMPLIANCE WITH CITY OF ARVADA STANDARDS AND SHALL BE TESTED AT CITY REQUIRED FREQUENCIES BY A CITY APPROVED PRIVATE SOILS TESTING FIRM. TEST RESULTS SHALL BE SUBMITTED TO, REVIEWED, AND APPROVED BY, THE CITY OF ARVADA ENGINEERING DIVISION PRIOR TO INSTALLING BASE COURSE, ASPHALT OR CONCRETE ON PREPARED SUBGRADE. ALL BASE COURSE DENSITY SHALL ALSO BE TESTED BY THE PRIVATE SOILS FIRM AT CITY REQUIRED FREQUENCIES TO ENSURE COMPLIANCE WITH CITY OF ARVADA REQUIREMENTS. BASE COURSE TEST RESULTS SHALL ALSO BE APPROVED BY THE CITY OF ARVADA ENGINEERING DIVISION PRIOR TO INSTALLING PAVEMENT. ALL CONCRETE AND ASPHALT PLACED SHALL BE TESTED IN ACCORDANCE WITH CITY OF ARVADA MINIMUM MATERIALS TESTING STANDARDS. TEST RESULTS SHALL BE REVIEWED AND APPROVED BY THE CITY OF ARVADA ENGINEERING DIVISION PRIOR TO INITIATION OF THE REQUIRED TWO YEAR WARRANTY PERIOD.
- C. THE SUBGRADE MATERIAL SHALL BE REMOVED TO A DEPTH REQUIRED BY THE CITY OF ARVADA ACCORDING TO INFORMATION OBTAINED FROM LABORATORY TESTS AND/OR AS REQUIRED IN THE PAVEMENT DESIGN REPORT. ADDITIVES OR APPROVED MATERIAL MAY BE REQUIRED IF THE NATIVE MATERIAL IS UNSATISFACTORY. THE SUBGRADE SHALL BE COMPACTED TO A MINIMUM DENSITY DETERMINED IN ACCORDANCE WITH AASHTO DESIGNATION T180 OR T99 AND IN ACCORDANCE WITH CDOT STANDARD SPECIFICATIONS SECTION 203.07.
- D. THE CONTRACTOR SHALL PROOF ROLL ALL SUBGRADE AND BASE COURSE IN A MANNER ACCEPTABLE TO THE CITY OF ARVADA IN ACCORDANCE WITH THE CITY OF ARVADA "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS." PROOF ROLLING SHALL BE INSPECTED AND ACCEPTED BY THE CITY PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE FLATWORK.
- E. ALL CONCRETE CURB, GUTTER, SIDEWALK AND OTHER FLATWORK WITHIN THE CITY RIGHT OF WAY SHALL BE MINIMUM 6" THICKNESS. CROSSPANS SHALL BE MINIMUM 8" THICKNESS AND MINIMUM 8 FOOT WIDTH. ALL CONCRETE SHALL BE MINIMUM 4500 PSI DESIGN STRENGTH REINFORCED WITH 1.5 LBS/CY FIBERMESH IN ACCORDANCE WITH THE CITY OF ARVADA "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS."

UTILITIES

- A. CONTRACTOR SHALL NOTIFY ALL AFFECTED PARTIES, CITY OF ARVADA UTILITY AND ENGINEERING DIVISIONS, A MINIMUM OF 24 HOURS PRIOR TO ANY WATER OR SEWER SERVICE INTERRUPTION.
- B. CONTRACTOR IS TO COORDINATE THE OPERATION OF ALL WATER VALVES, FIRE HYDRANTS, AND OTHER APPURTENANCES WITH THE CITY'S WATER OPERATIONS DIVISION THROUGH THE CITY'S ENGINEERING INSPECTOR.
- C. FIRE SERVICE LINES TO BUILDINGS AND FIRE HYDRANT LATERALS SHALL BE PVC DR-14, C-900 OR 305 PSI, C909.
- D. ALL METALLIC FITTINGS SHALL BE WRAPPED WITH MINIMUM 8 MIL THICKNESS POLYETHYLENE ENCASEMENT.
- E. ALL PVC WATER MAINS SHALL BE INSTALLED WITH WHITE #12 TYPE UF OR USE CABLE SINGLE COPPER CONDUCTOR AS A TRACER WIRE SPIRALLY WRAPPED AROUND THE PIPE. TRACER WIRE TO EXTEND FROM MAIN TO A CATHODIC PROTECTION BOX LOCATED ON THE RIGHT SIDE OF ALL FIRE HYDRANTS. TRACER WIRE SHALL BE CONNECTED TO EXISTING TRACER WIRE WHERE POSSIBLE. WHERE NO TRACER WIRE EXISTS, ENDS OF TRACER WIRE SHALL BE STRIPPED AND GROUNDED INTO NATIVE SOIL A MINIMUM OF 18" DEEP.
- F. STORM, SANITARY AND WATER MANHOLE COVERS SHALL SAY "CITY OF ARVADA STORM, WATER OR SANITARY" WHERE APPLICABLE IN ACCORDANCE WITH THE CITY'S STANDARD LID DETAIL.
- G. BLOW-OFFS, BOTH PERMANENT AND TEMPORARY, SHALL BE IN ACCORDANCE WITH CITY OF ARVADA STANDARD DETAIL DRAWINGS.
- H. ALL SANITARY SEWER MAINS INSTALLED SHALL BE HIGH PRESSURE JET CLEANED AFTER COMPLETION OF THE FINAL LIFT OF ASPHALT PLACEMENT AND PRIOR TO REQUIRED TELEVISION INSPECTION.
- I. CONTRACTOR IS TO NOTIFY AFFECTED IRRIGATION/DITCH COMPANIES A MINIMUM OF 24 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION IN IRRIGATION EASEMENTS OR ON IRRIGATION DITCHES.

EROSION CONTROL

- A. THE CITY OF ARVADA STORMWATER INSPECTOR MUST BE MET ON SITE AND PROVIDED WITH A STORMWATER MANAGEMENT PLAN AFTER INSTALLATION OF TEMPORARY BEST MANAGEMENT PRACTICES (BMPs), BUT BEFORE CONSTRUCTION OR GRADING BEGINS.
- B. THERE SHALL BE NO EARTH-DISTURBING ACTIVITY OUTSIDE THE LIMITS DESIGNATED IN THE ACCEPTED PLANS.
- C. ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC.). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND STORMWATER MANAGEMENT PLAN.
- D. AT ALL TIMES DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON-SITE EROSION INCLUDING KEEPING THE PROPERTY SUFFICIENTLY WATERED SO AS TO MINIMIZE WINDBLOWN SEDIMENT. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL FACILITIES SHOWN HEREIN.
- E. PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREA(S) REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- F. ALL SOILS EXPOSED DURING LAND DISTURBING ACTIVITY (STRIPPING, GRADING, UTILITY INSTALLATIONS, STOCKPILING, FILLING, ETC.) SHALL BE KEPT IN A ROUGHENED CONDITION BY RIPPING OR DISKING ALONG LAND CONTOURS UNTIL MULCH, VEGETATION, OR OTHER PERMANENT EROSION CONTROL BMPs ARE INSTALLED. NO DISTURBED AREAS, EXCEPT THOSE WITHIN THE PROJECT STREET RIGHTS-OF-WAY, SHALL REMAIN EXPOSED FOR MORE THAN THIRTY (30) DAYS BEFORE TEMPORARY OR PERMANENT EROSION CONTROL (E.G. SEED/MULCH, LANDSCAPING, ETC.) IS INSTALLED, UNLESS OTHERWISE APPROVED BY THE CITY OF ARVADA STORMWATER INSPECTOR.
- G. IN ORDER TO MINIMIZE EROSION POTENTIAL ALL TEMPORARY (STRUCTURAL) EROSION CONTROL MEASURES SHALL:
  - 1. BE INSPECTED AT A MINIMUM OF ONCE EVERY FOURTEEN (14) DAYS AND AFTER EACH SIGNIFICANT STORM EVENT AND REPAIRED OR RECONSTRUCTED AS NECESSARY IN ORDER TO ENSURE THE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
  - 2. REMAIN IN PLACE UNTIL SUCH TIME AS ALL THE SURROUNDING DISTURBED AREAS ARE SUFFICIENTLY STABILIZED. THE CITY OF ARVADA STORMWATER INSPECTOR MUST BE NOTIFIED PRIOR TO REMOVAL.
  - 3. BE REMOVED WHEN THEY ARE NO LONGER FUNCTIONAL OR AFTER THE SITE HAS BEEN SUFFICIENTLY STABILIZED AS DETERMINED BY THE STORMWATER INSPECTOR. THE CITY OF ARVADA STORMWATER INSPECTOR MUST BE NOTIFIED PRIOR TO REMOVAL.
- H. WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEAN UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
- I. THE CONTRACTOR SHALL IMMEDIATELY CLEAN UP ANY CONSTRUCTION MATERIALS INADVERTENTLY DEPOSITED ON EXISTING STREETS, SIDEWALKS, OR OTHER PUBLIC RIGHTS OF WAY, AND MAKE SURE STREETS AND WALKWAYS ARE CLEANED AT THE END OF EACH WORKING DAY.
- J. ALL SOIL STOCKPILES SHALL NOT BE PLACED WITHIN ONE HUNDRED (100) FEET OF A DRAINAGEWAY, WHERE POSSIBLE, AND SHALL BE PROTECTED FROM SEDIMENT TRANSPORT BY APPROPRIATE EROSION CONTROL METHODS. ANY SOIL STOCKPILE THAT WILL BE DORMANT FOR OVER THIRTY (30) DAYS SHALL BE SEEDED.
- K. THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT AND BEFORE TURNING THE MAINTENANCE OVER TO THE PROPERTY OWNER OR HOMEOWNERS ASSOCIATION (HOA).
- L. CITY ORDINANCE REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, OIL AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. THE DEVELOPER SHALL AT ALL TIMES TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- M. A DESIGNATED AREA SHALL BE PROVIDED ON SITE FOR CONCRETE TRUCK CHUTE WASHOUT. THE AREA SHALL BE CONSTRUCTED SO AS TO CONTAIN WASHOUT MATERIAL AND LOCATED AT LEAST FIFTY (50) FEET AWAY FROM ANY WATERWAY DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION ACTIVITIES THE CONCRETE WASHOUT MATERIAL WILL BE REMOVED AND PROPERLY DISPOSED OF PRIOR TO THE AREA BEING RESTORED.
- N. MASONRY ACTIVITIES WILL BE CONTAINED WITH APPROPRIATE LOT-SPECIFIC BMPs, SUCH AS STOCKPILE PERIMETER CONTROL AND BERMED WASHOUT PITS. ALL WASTE PRODUCTS FROM MASONRY ACTIVITIES WILL BE REMOVED AND DISPOSED OF PROPERLY.
- O. TO ENSURE THAT SEDIMENT DOES NOT MOVE OFF OF INDIVIDUAL LOTS SEDIMENT/EROSION CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED AT ONE OR MORE OF THE FOLLOWING LOCATIONS UNTIL THE LOTS ARE LANDSCAPED.
  - 1. BELOW ALL GUTTER DOWNSPOUTS.
  - 2. OUT TO DRAINAGE SWALES.
  - 3. ALONG LOT PERIMETER.
  - 4. OTHER LOCATIONS, IF NEEDED.
- P. A VEHICLE TRACKING PAD SHALL BE INSTALLED WHEREVER IT IS NECESSARY FOR CONSTRUCTION EQUIPMENT INCLUDING BUT NOT LIMITED TO PERSONAL VEHICLES EXITING EXISTING UNPAVED AREAS ONTO ROADWAYS. NO EARTHEN MATERIALS, I.E., STONE, DIRT, ETC., SHALL BE PLACED IN THE CURB & GUTTER OR ROADWAY AS A RAMP TO ACCESS TEMPORARY STOCKPILES, CONSTRUCTION MATERIALS AND/OR BUILDING SITES.
- Q. CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE DEVELOPER SHALL IMPLEMENT WHATEVER MEASURES ARE DETERMINED NECESSARY, AS DIRECTED BY THE CITY OF ARVADA.

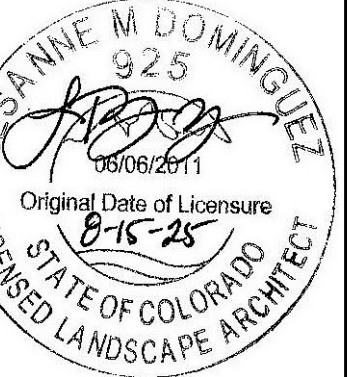
SUBMITTALS:  
1st CITY SUBMITTAL 10-18-2024  
2nd CITY SUBMITTAL 2-21-2025  
3RD CITY SUBMITTAL 6-30-2025  
ISSUED FOR CONSTRUCTION  
02-04-2024

ARCHITERRA GROUP  
5981 south clairmonte street  
littleton colorado 80127  
303.948.0766 fax 303.948.0977  
www.architerragroup.com



PROJECT # 2302 DRAWN BY: ACG DATE: 06-30-2025 CHECK BY: LMD

LESANNE M DOMINGUEZ  
925  
Original Date of Licensure  
8-15-25  
LICENSED STATE OF COLORADO  
LICENSED LANDSCAPE ARCHITECT



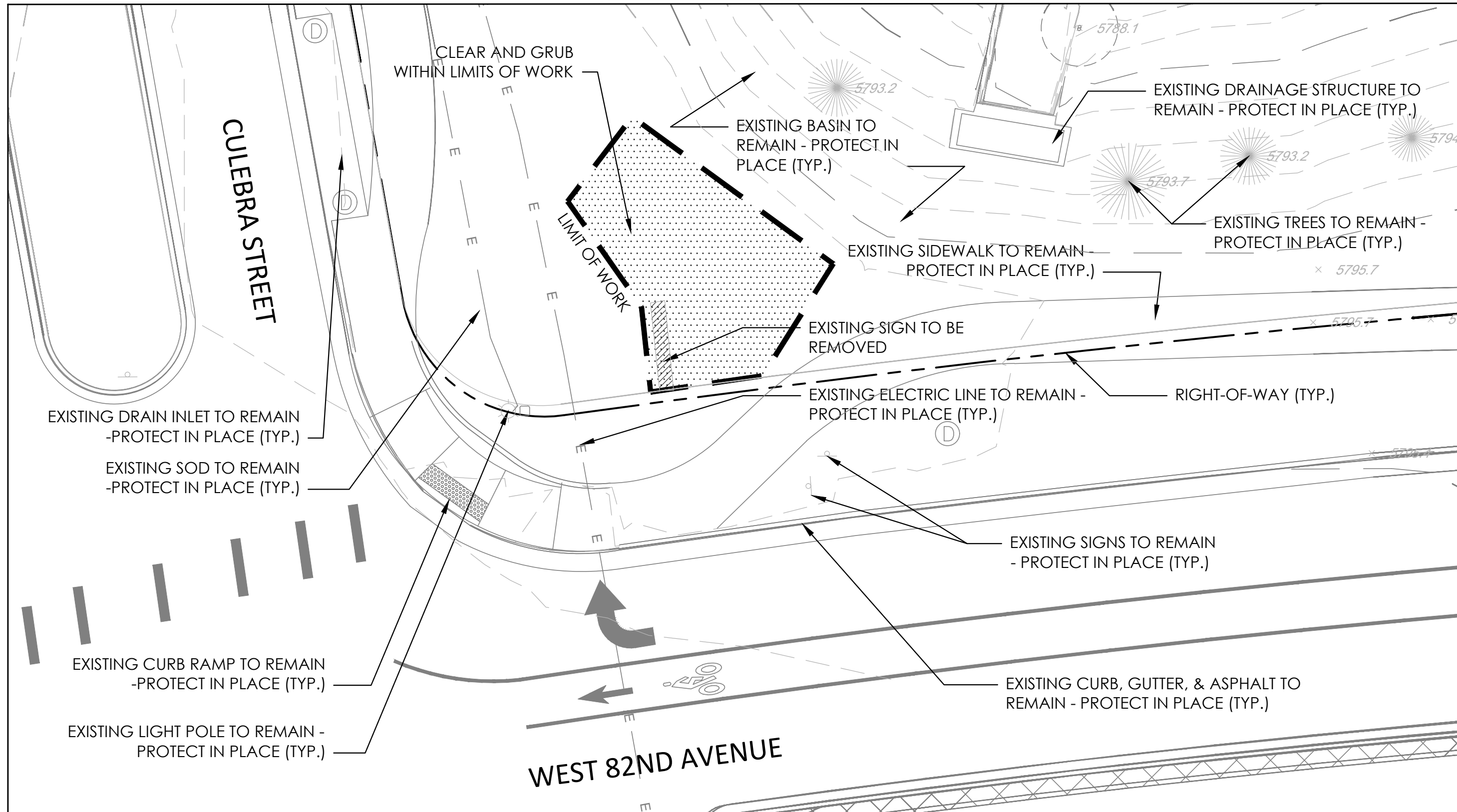
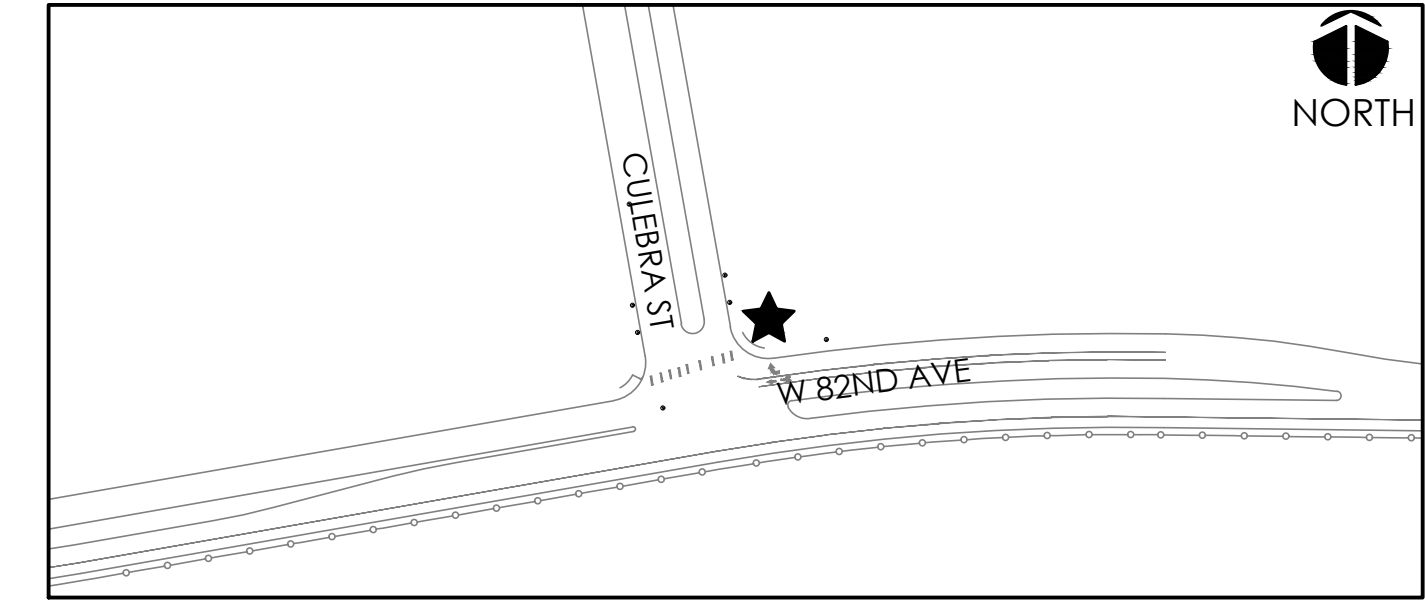
GENERAL NOTES  
LEYDEN ROCK  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
G-1

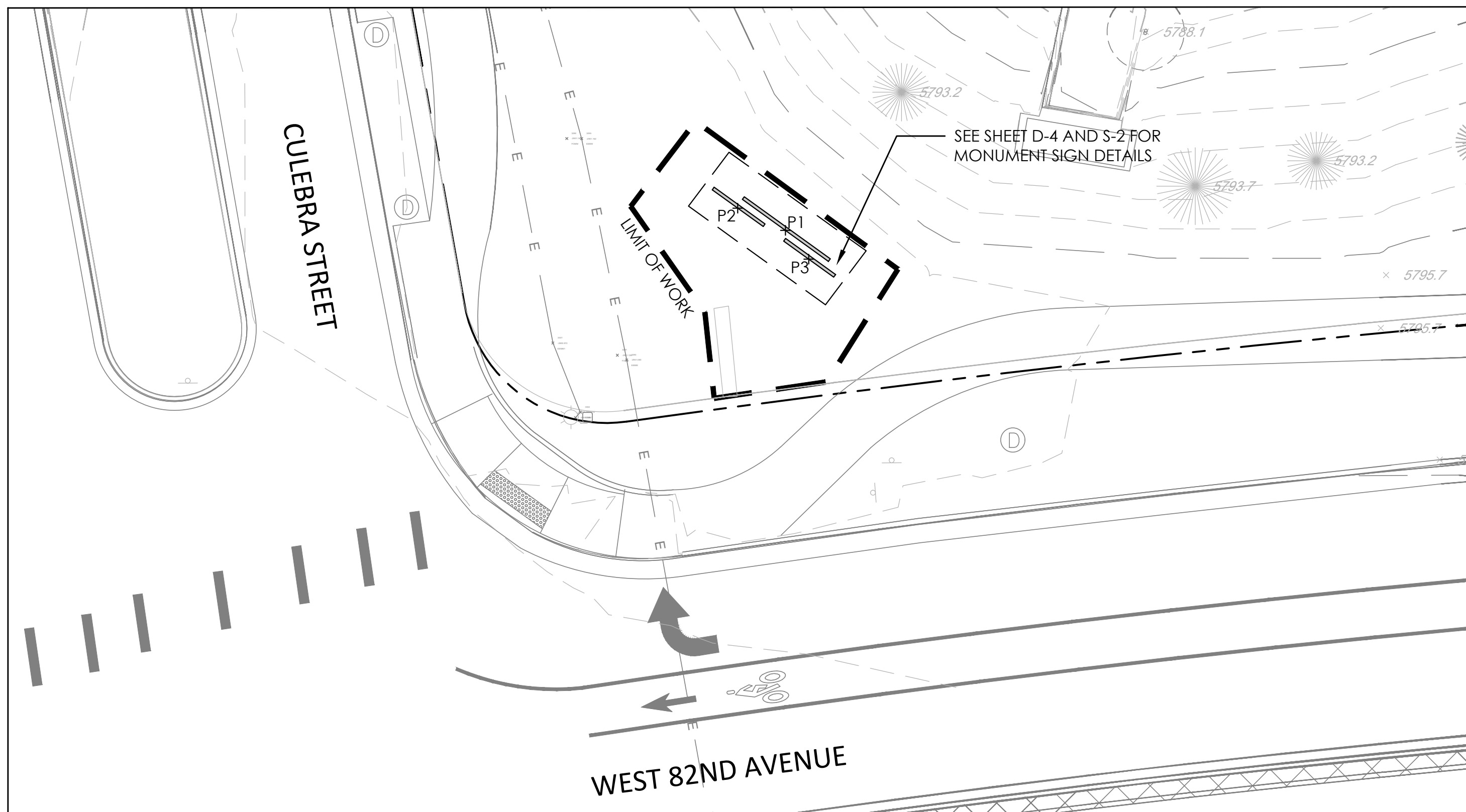
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7. SEE IRRIGATION PLANS FOR IRRIGATION DEMOLITION NOTES.
8. ALL TREES AND SHRUBS ARE DESIGNATED TO REMAIN UNLESS SPECIFICALLY NOTED FOR REMOVAL. CONFIRM ALL REMOVALS WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.

**KEY MAP**





**EXISTING CONDITIONS AND DEMOLITION PLAN**

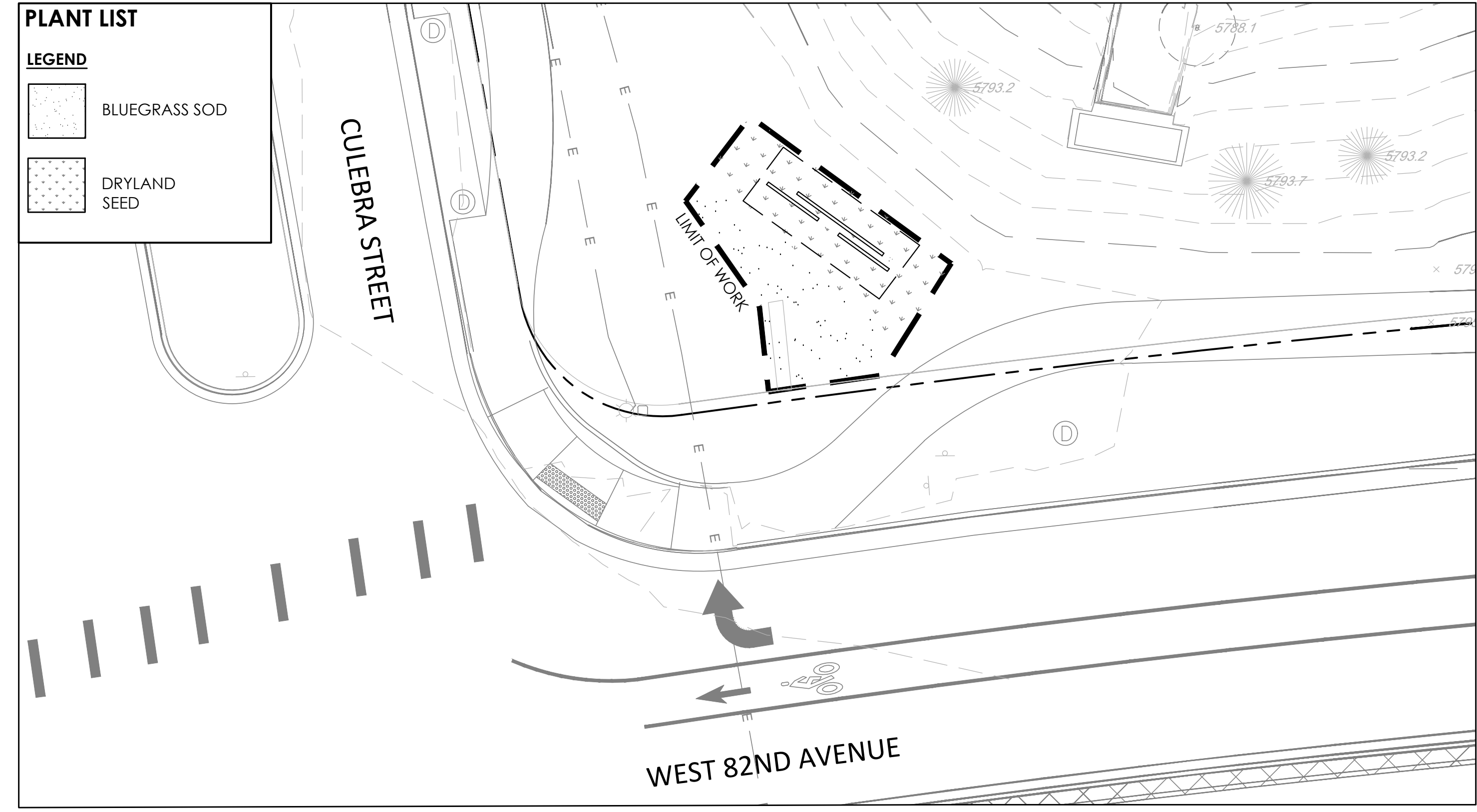


**LAYOUT AND MATERIALS PLAN**

**PLANT LIST**

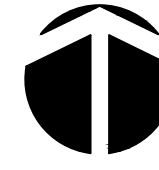
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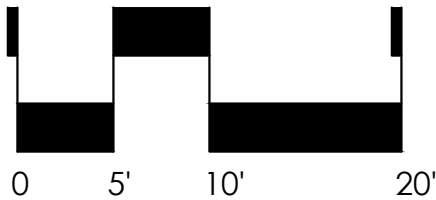
-  BLUEGRASS SOD
-  DRYLAND SEED



**PLANTING PLAN**

**811**  
Know what's below.  
Call before you dig.

 NORTH

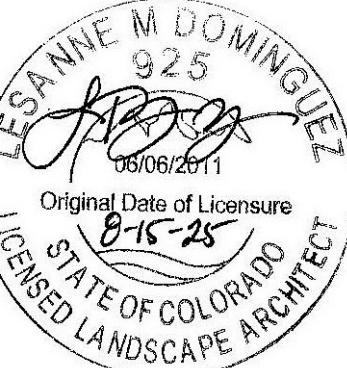
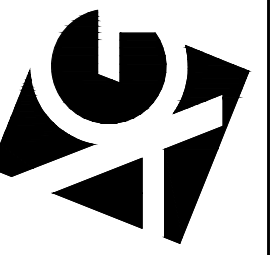
 SCALE: 1" = 10'

**LAYOUT NOTES:**

1. SEE SHEET L-1 FOR LAYOUT INFORMATION

SUBMITTALS:  
1st CITY SUBMITTAL 10-18-2024  
2nd CITY SUBMITTAL 2-21-2025  
3rd CITY SUBMITTAL 6-30-2025  
ISSUED FOR CONSTRUCTION  
03-04-2024

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5881 South Delaware Street  
Littleton, Colorado 80127  
303.948.0766 fax 948.0977  
www.architerragroup.com



**CULEBRA ENTRANCE - PLAN SET**  
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
**CE-1**

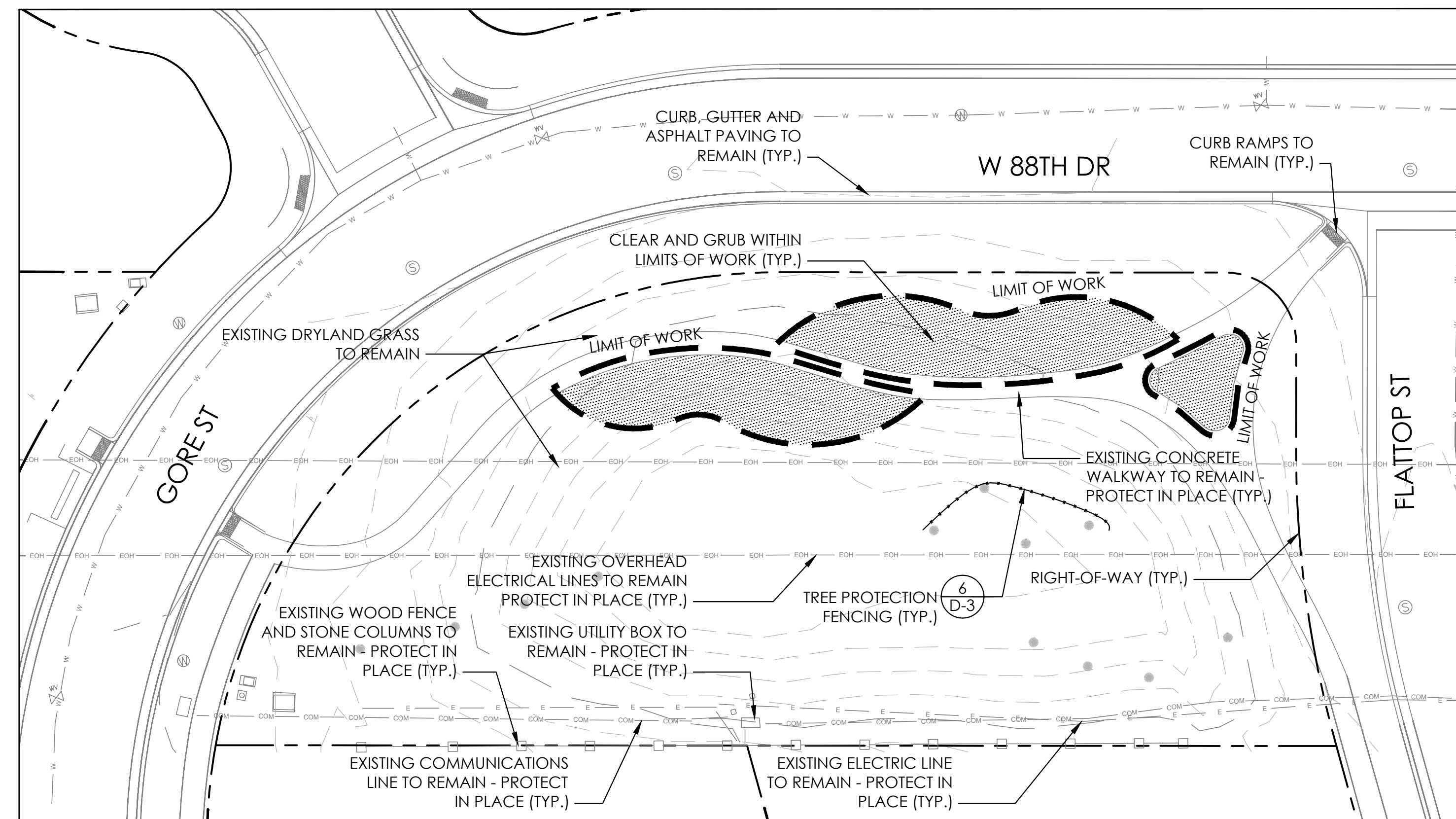
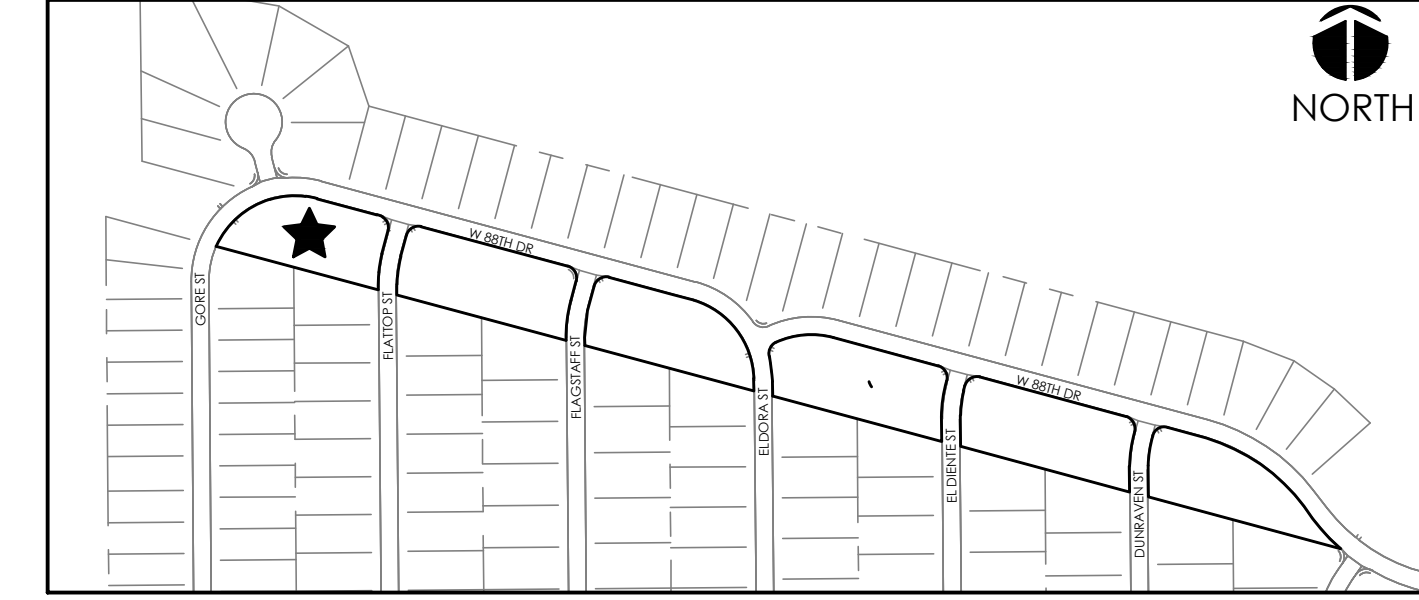
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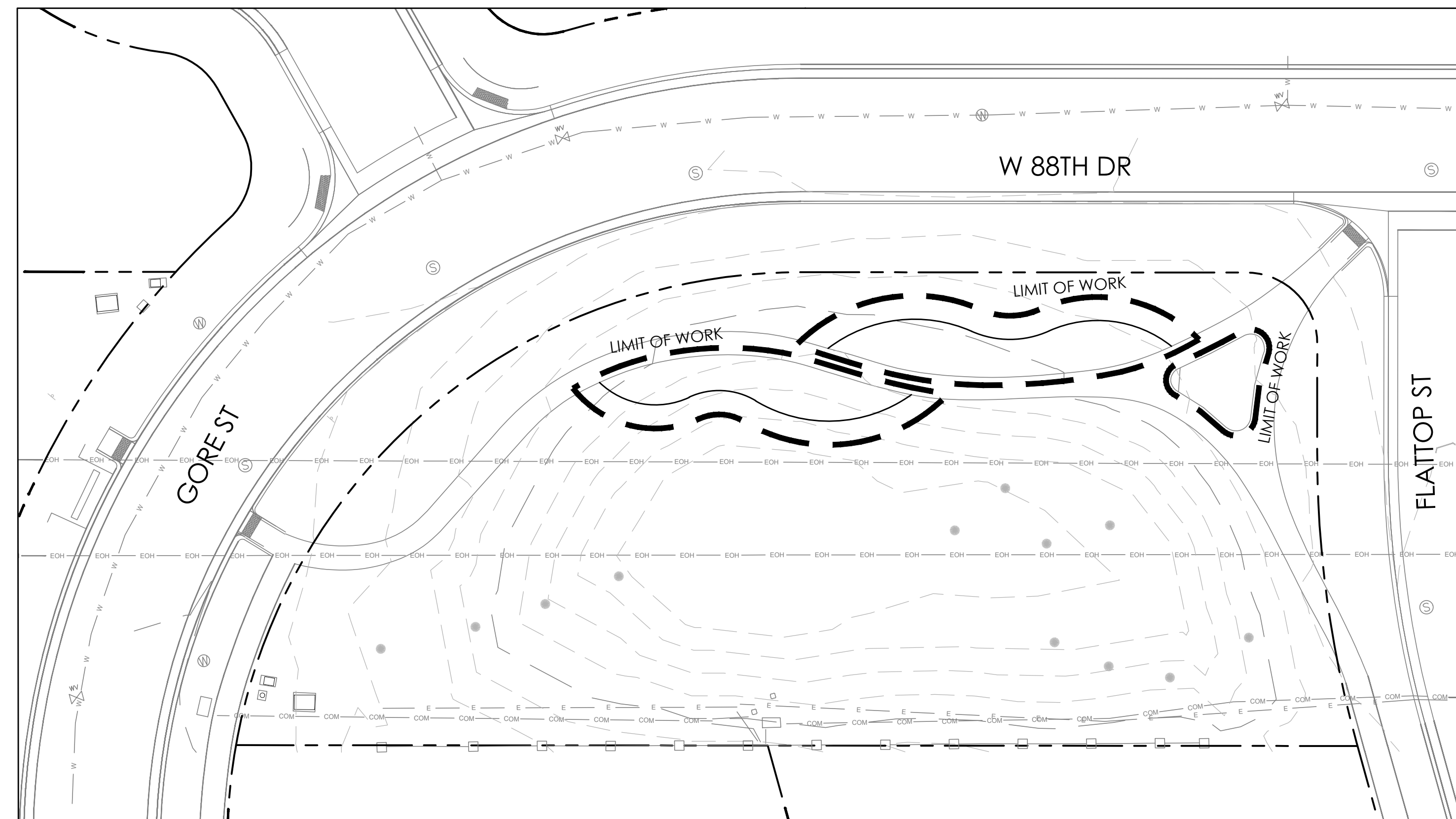
**GRADING NOTES:**

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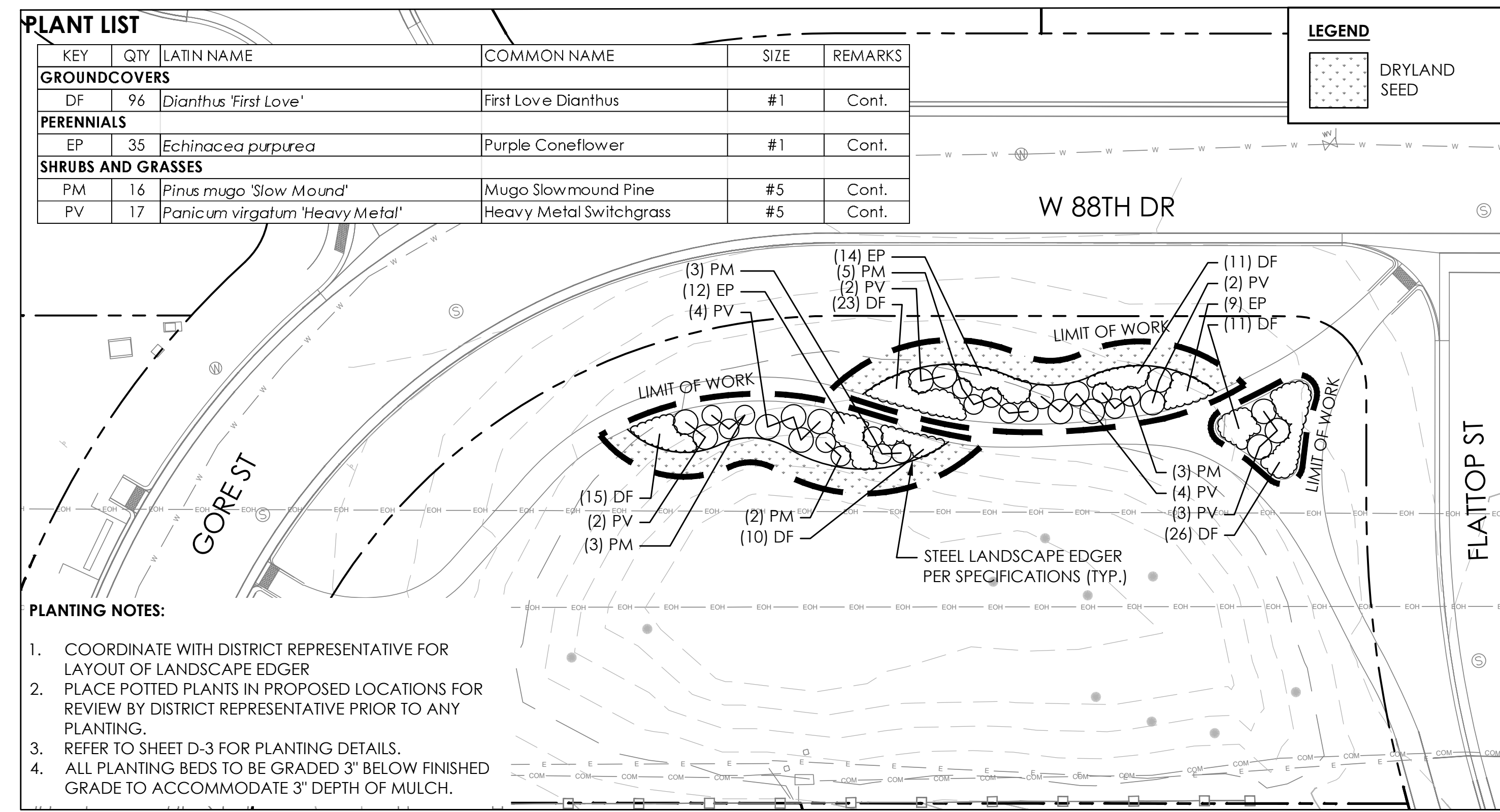
**KEY MAP**



**EXISTING CONDITIONS AND DEMOLITION PLAN**



**GRADING PLAN**



**PLANTING NOTES:**

1. COORDINATE WITH DISTRICT REPRESENTATIVE FOR LAYOUT OF LANDSCAPE EDGER
2. PLACE POTTED PLANTS IN PROPOSED LOCATIONS FOR REVIEW BY DISTRICT REPRESENTATIVE PRIOR TO ANY PLANTING.
3. REFER TO SHEET D-3 FOR PLANTING DETAILS.
4. ALL PLANTING BEDS TO BE GRADED 3" BELOW FINISHED GRADE TO ACCOMMODATE 3" DEPTH OF MULCH.

**PLANTING PLAN**

KEY	QTY	LATIN NAME	COMMON NAME	SIZE	REMARKS
<b>GROUNDCOVERS</b>					
DF	96	<i>Dianthus 'First Love'</i>	First Love Dianthus	#1	Cont.
<b>PERENNIALS</b>					
EP	35	<i>Echinacea purpurea</i>	Purple Coneflower	#1	Cont.
<b>SHRUBS AND GRASSES</b>					
PM	16	<i>Pinus mugo 'Slow Mound'</i>	Mugo Slowmound Pine	#5	Cont.
PV	17	<i>Panicum virgatum 'Heavy Metal'</i>	Heavy Metal Switchgrass	#5	Cont.

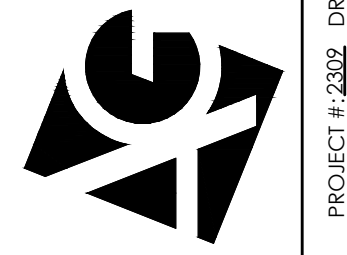
**LEGEND**

DRYLAND SEED

SCALE: 1" = 20'

**SUBMITTALS:**  
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**ISSUED FOR CONSTRUCTION**  
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**LESANNE M. DOMINGUEZ**  
 925  
 05/06/2011  
 Original Date of Licensure  
 6-15-25  
 LICENSED STATE OF COLORADO  
 LICENSED LANDSCAPE ARCHITECT

**PARCEL 1 - PLAN SET**  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**SP-1**

**DEMOLITION NOTES:**

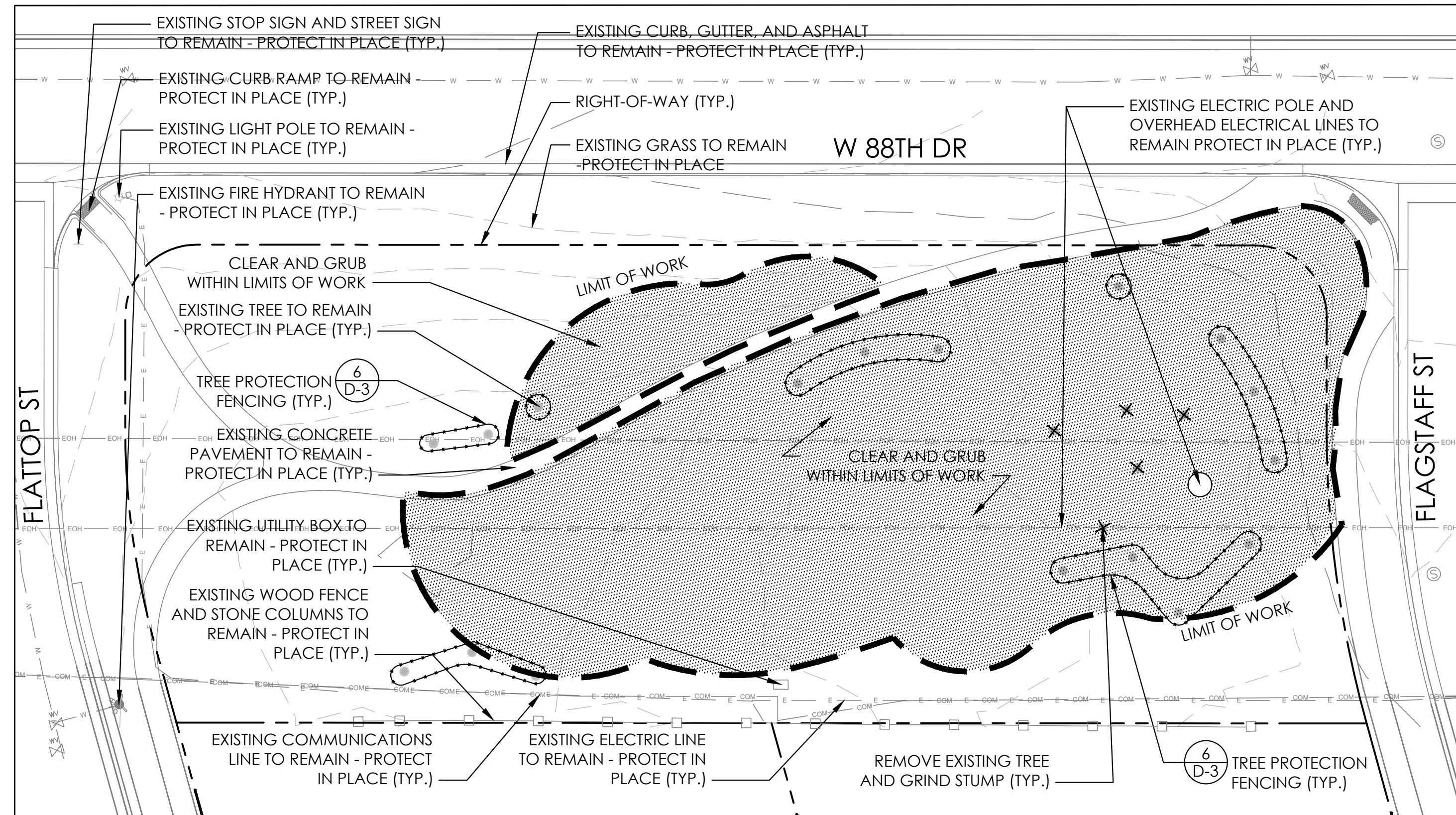
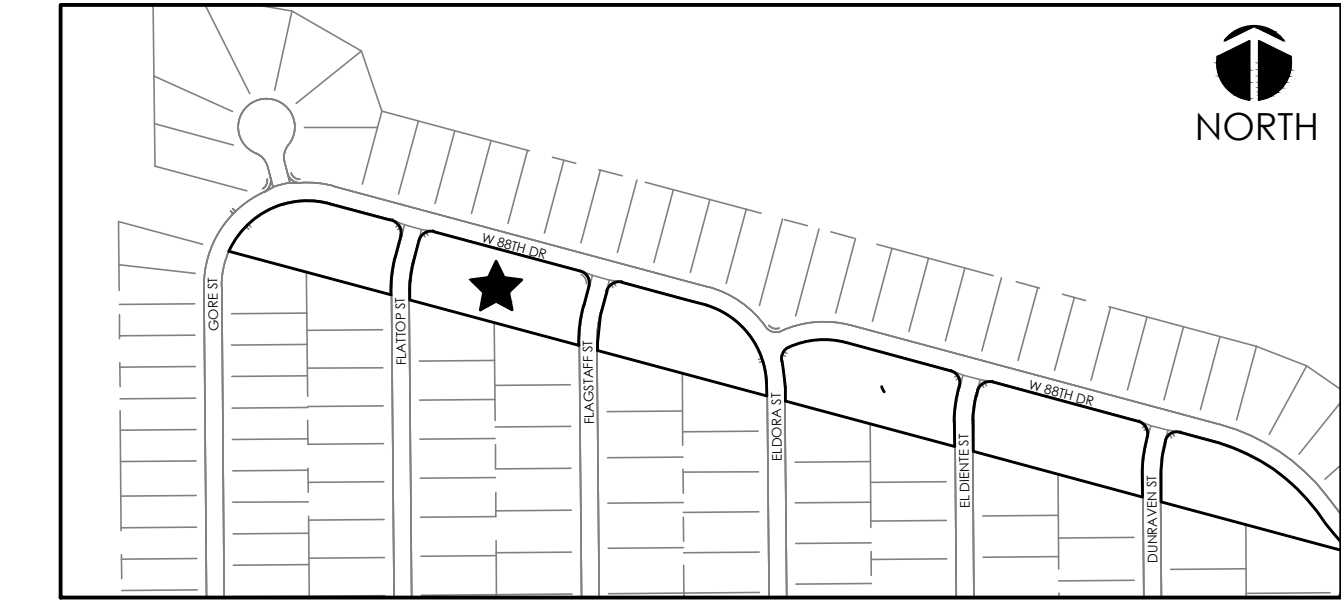
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**GRADING NOTES:**

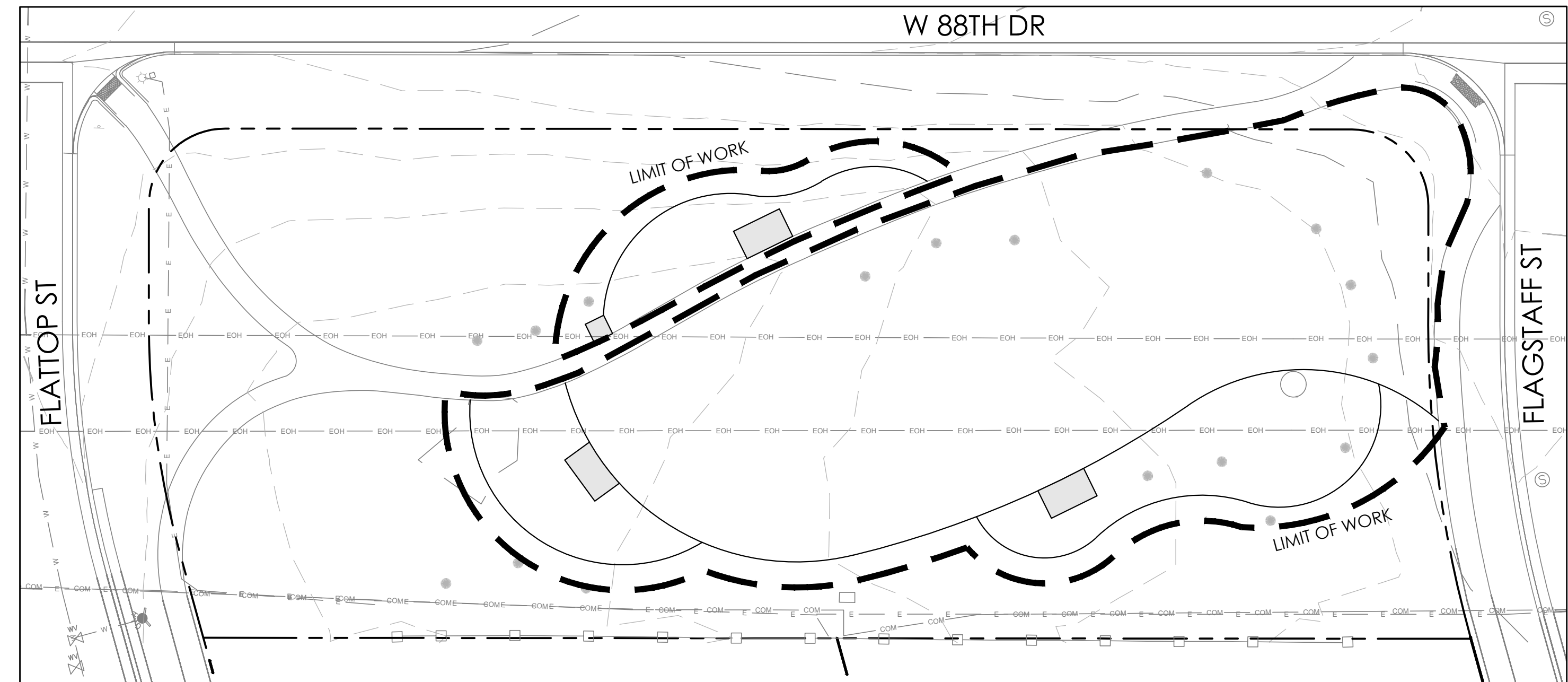
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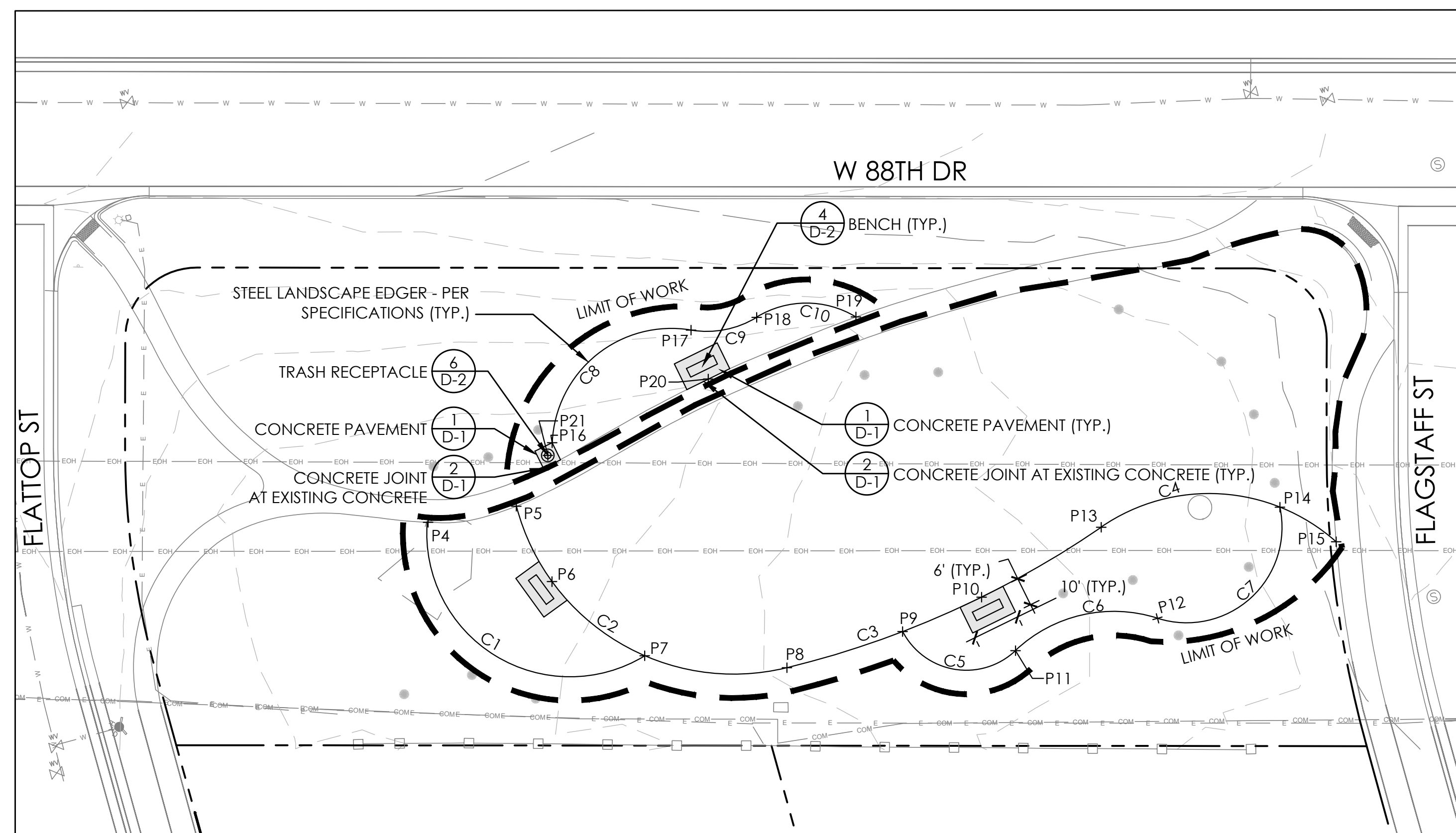
**KEY MAP**



**EXISTING CONDITIONS AND DEMOLITION PLAN**



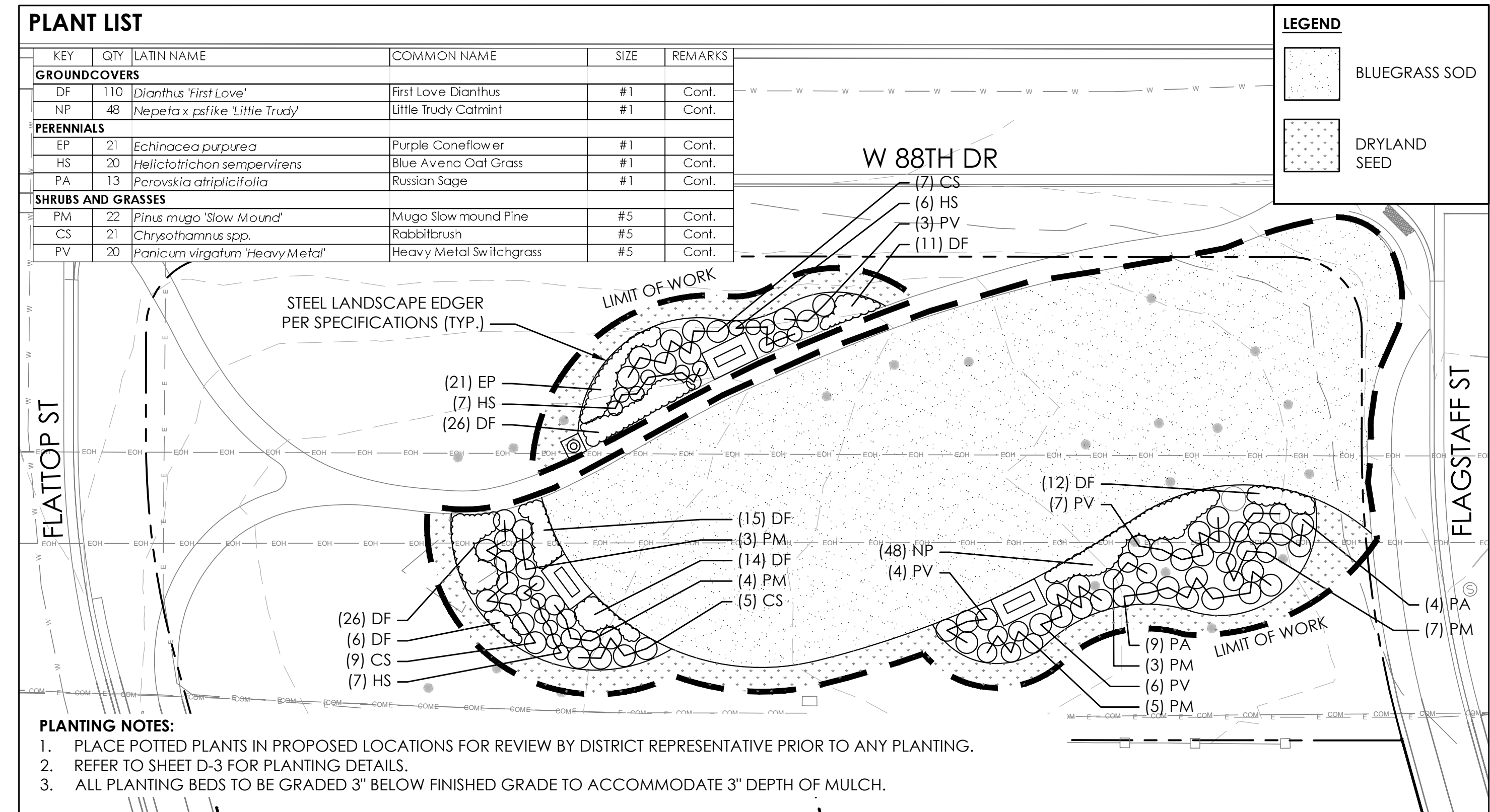
**GRADING PLAN**



**LAYOUT AND MATERIALS PLAN**

**PLANT LIST**

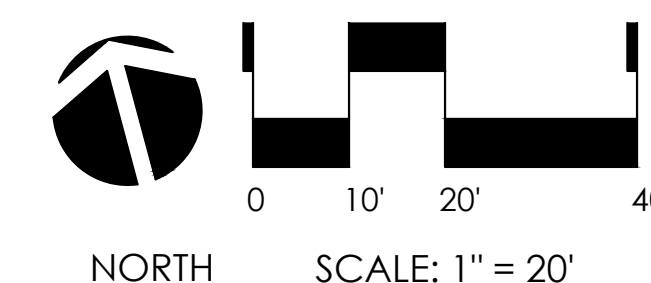
KEY	QTY	LATIN NAME	COMMON NAME	SIZE	REMARKS
<b>GROUNDCOVERS</b>					
DF	110	<i>Dianthus 'First Love'</i>	First Love Dianthus	#1	Cont.
NP	48	<i>Nepeta x patike 'Little Trudy'</i>	Little Trudy Catmint	#1	Cont.
<b>PERENNIALS</b>					
EP	21	<i>Echinacea purpurea</i>	Purple Coneflower	#1	Cont.
HS	20	<i>Helictotrichon sempervirens</i>	Blue Avena Oat Grass	#1	Cont.
PA	13	<i>Perovskia atriplicifolia</i>	Russian Sage	#1	Cont.
<b>SHRUBS AND GRASSES</b>					
PM	22	<i>Pinus mugo 'Slow Mound'</i>	Mugo Slowmound Pine	#5	Cont.
CS	21	<i>Chrysothamnus spp.</i>	Rabbitbrush	#5	Cont.
FV	20	<i>Panicum virgatum 'Heavy Metal'</i>	Heavy Metal Switchgrass	#5	Cont.



**PLANTING PLAN**

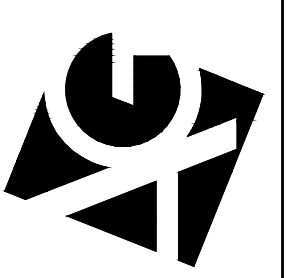
**LAYOUT NOTES:**

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06/06/2011  
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LICENSED LANDSCAPE ARCHITECT  
STATE OF COLORADO

PROJECT # 2302 DRAWN BY: ACG/DATE: 08-30-23 CHECK BY: LMD

PARCEL 2 - PLAN SET  
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
SP-2



**DEMOLITION NOTES:**

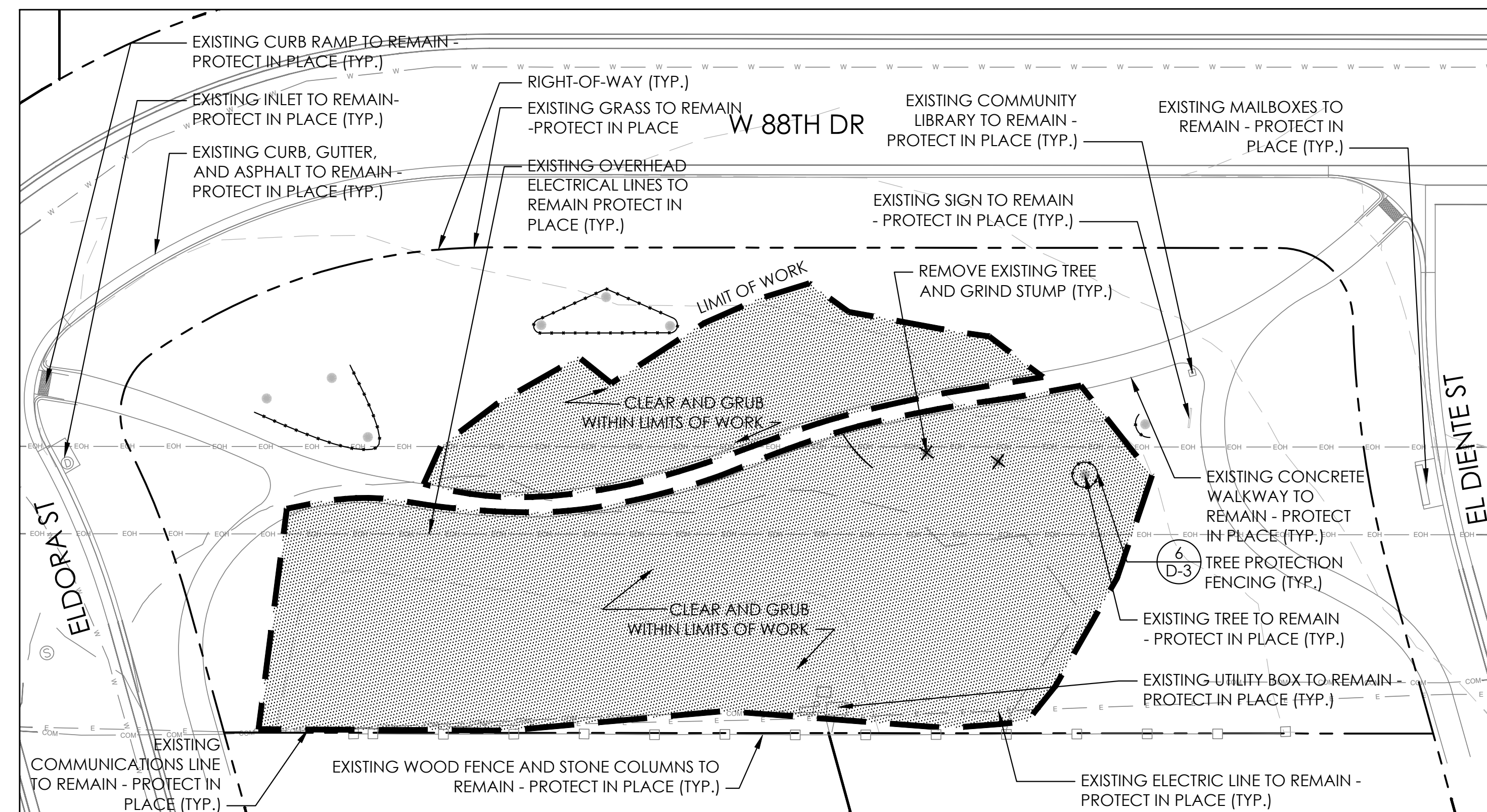
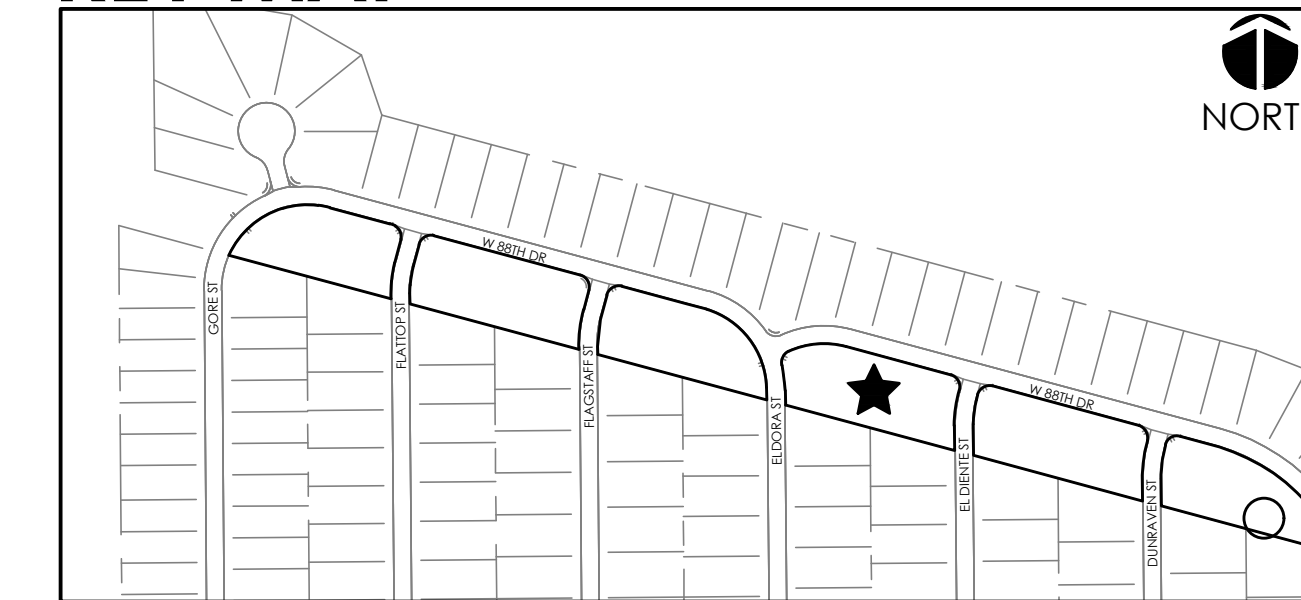
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**GRADING NOTES:**

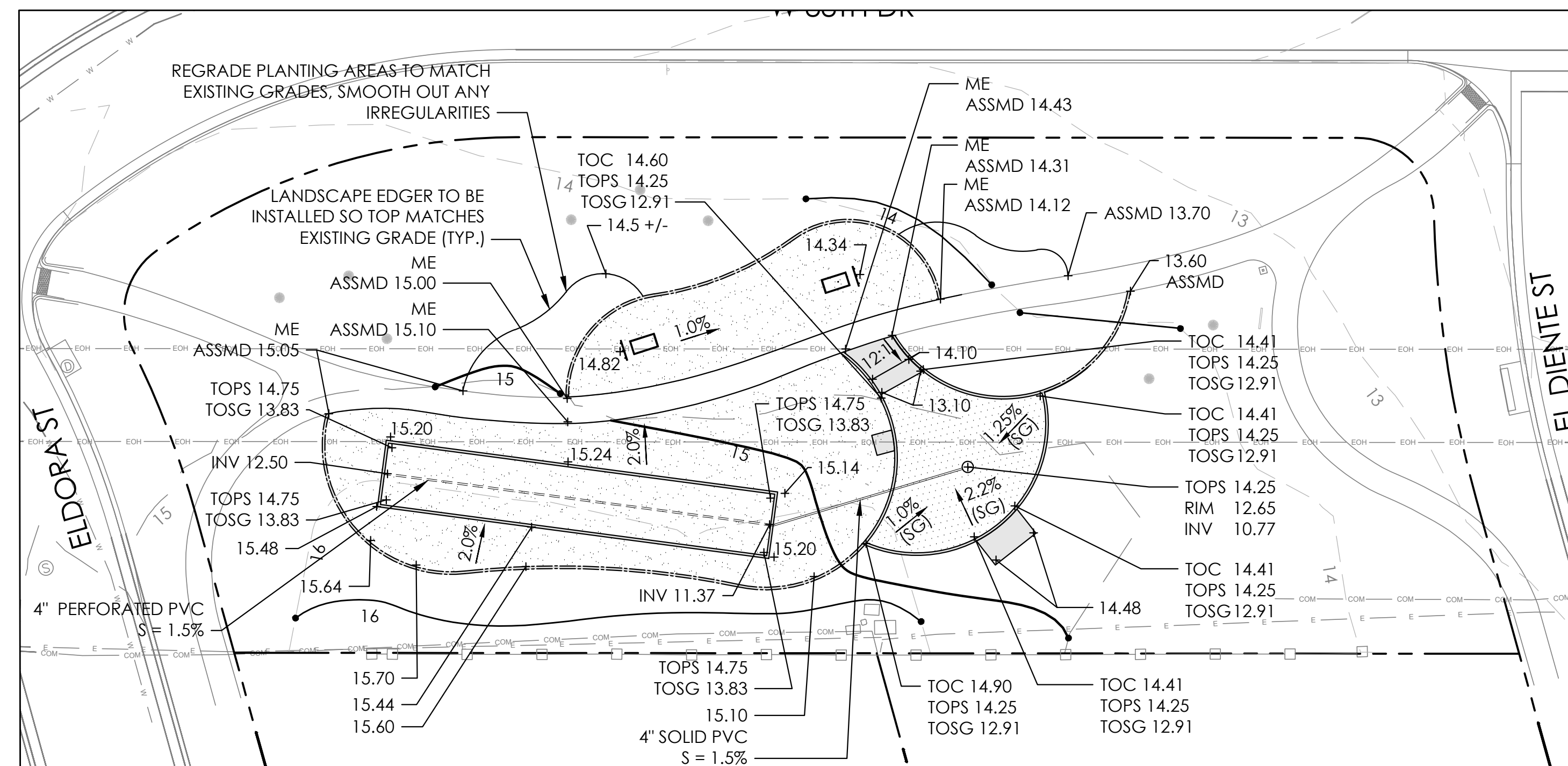
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 TOPS = TOP OF PLAY SURFACE  
 TOSG = TOP OF SUBGRADE  
 INV = INVERT

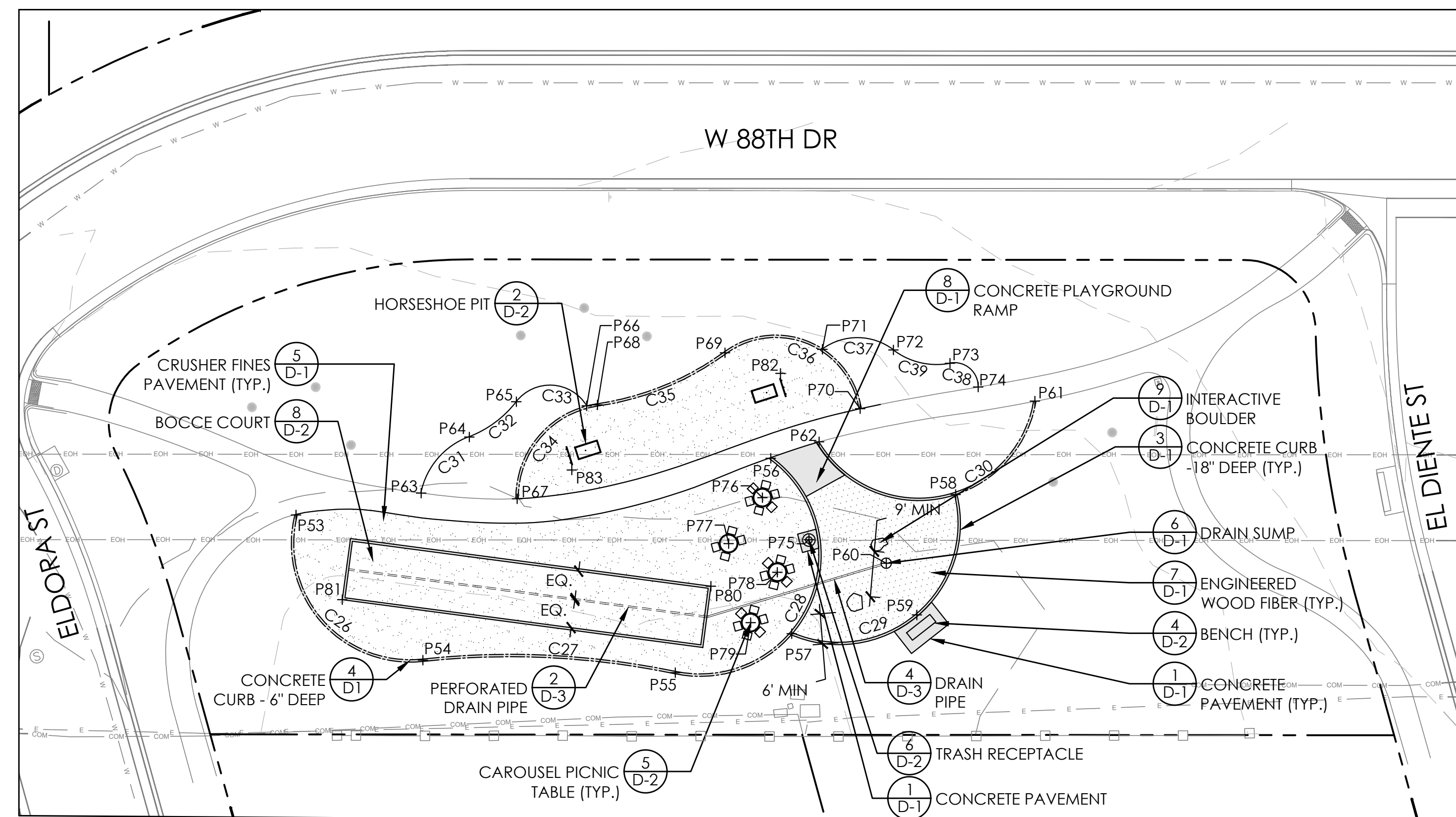
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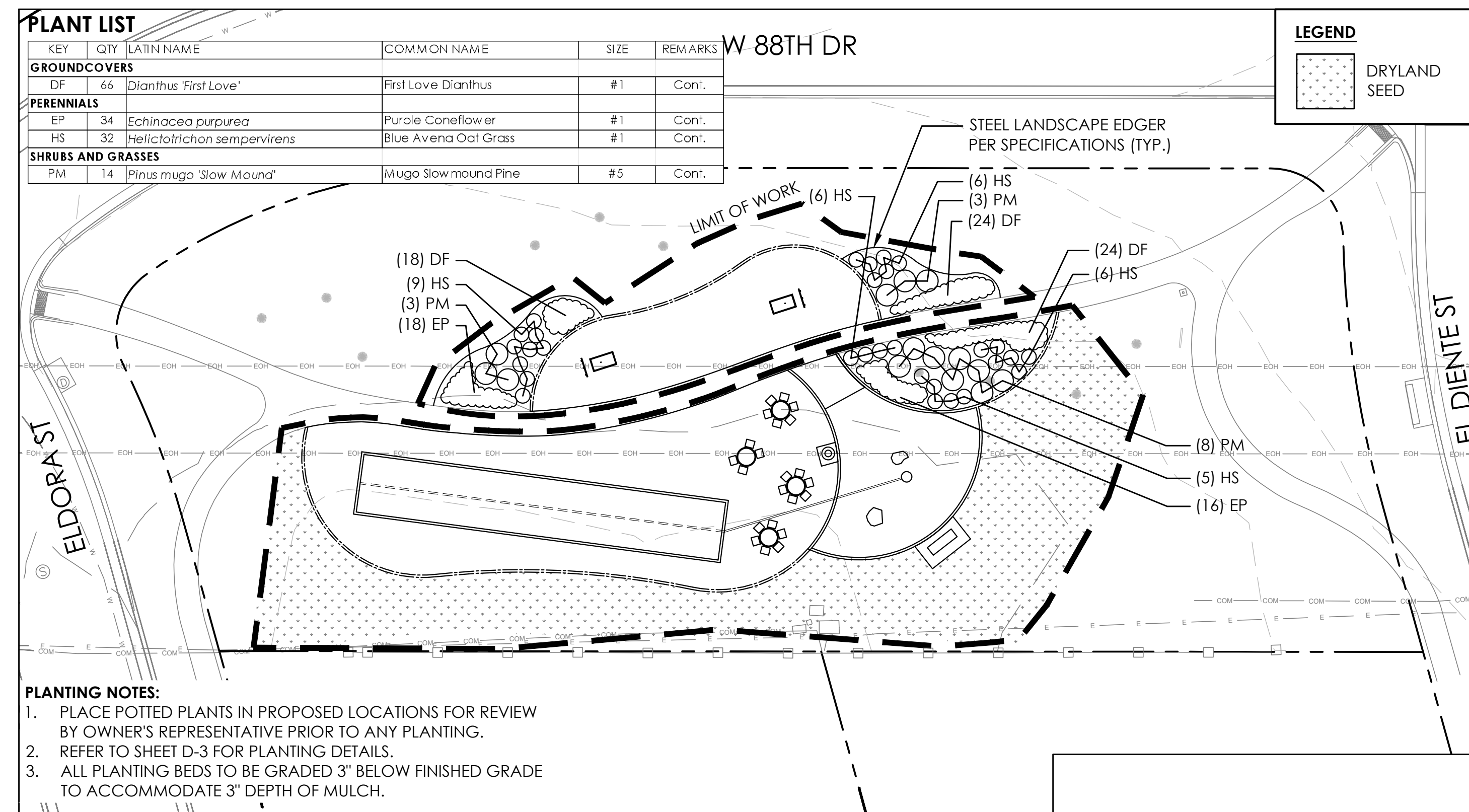
**EXISTING CONDITIONS AND DEMOLITION PLAN**



**GRADING PLAN**



**LAYOUT AND MATERIALS PLAN**



**PLANTING PLAN**

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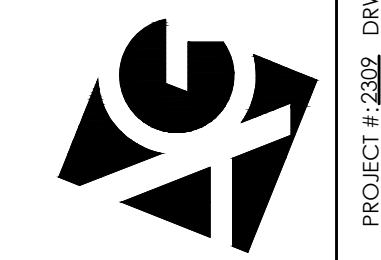
NORTH

0 10' 20' 40'

SCALE: 1" = 20'

**SUBMITTALS:**  
 1st CITY SUBMITTAL 10-18-2024  
 2nd CITY SUBMITTAL 12-21-2025  
 3RD CITY SUBMITTAL 6-30-2026  
**ISSUED FOR CONSTRUCTION**  
 02-26-2026

**ARCHITERRA GROUP**  
 5881 south elefante street  
 littleton colorado 80127  
 303.948.0766 fax 948.0977  
 www.architerragroup.com



**LESANNE M DOMINGUEZ**  
 925  
 Original Date of Licensure  
 6-15-25  
 LICENSED LANDSCAPE ARCHITECT

**PARCEL 4 - PLAN SET**  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**SP-4**

**DEMOLITION NOTES:**

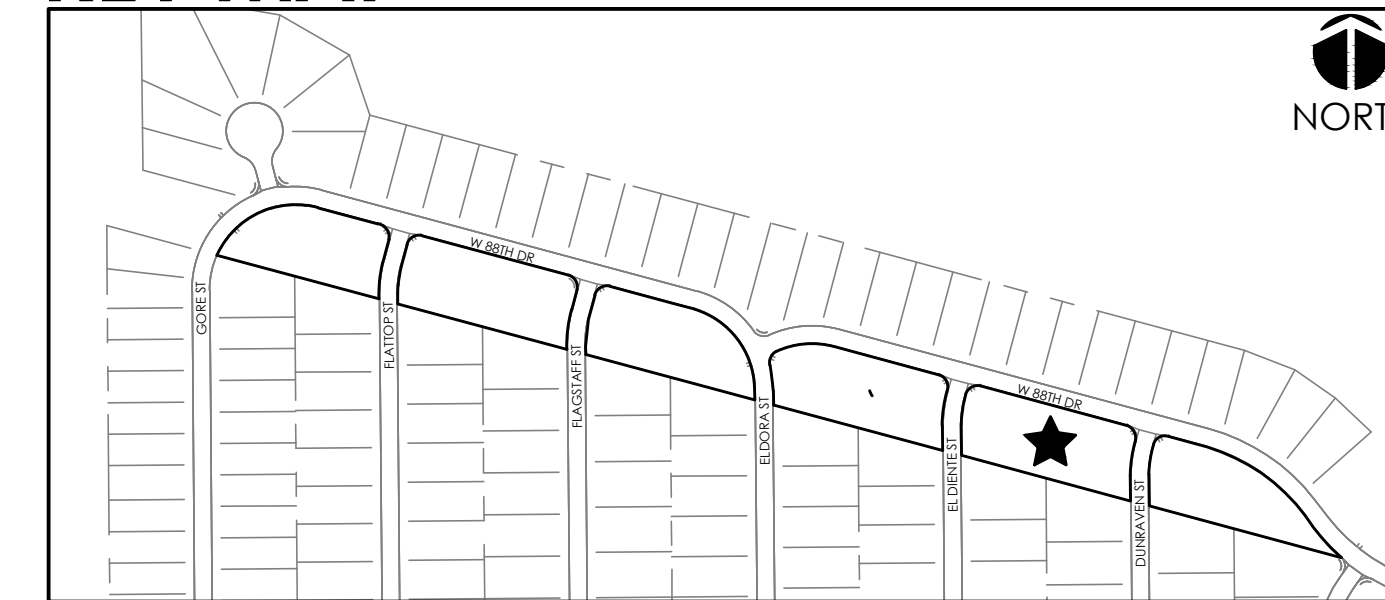
1. ALL UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
2. ALL REMOVALS SHALL BE MARKED IN FIELD AND APPROVED BY DISTRICT'S REPRESENTATIVE PRIOR TO REMOVAL.
3. CALL FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE.
4. ALL ITEMS DESIGNATED FOR REMOVAL SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
5. CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED OUTSIDE THE LIMIT OF WORK, INCLUDING AREAS DISTURBED FOR CONSTRUCTION ACCESS OR STAGING, TO ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
6. REMOVAL OF TREES SHALL INCLUDE REMOVAL OF STUMPS.
7. SEE IRRIGATION PLANS FOR IRRIGATION DEMOLITION NOTES.
8. ALL TREES AND SHRUBS ARE DESIGNATED TO REMAIN UNLESS SPECIFICALLY NOTED FOR REMOVAL. CONFIRM ALL REMOVALS WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.

**GRADING NOTES:**

1. SPOT ELEVATIONS ARE ABBREVIATED FOR CLARITY. ADD 6100 TO SPOT ELEVATION FOR ACTUAL ELEVATION.
2. LONGITUDINAL SLOPES OF PAVEMENT SHALL NOT EXCEED 5% AND CROSS SLOPES SHALL NOT EXCEED 2% UNLESS OTHERWISE NOTED.
3. ALL LANDSCAPE AREAS TO MATCH LINE AND GRADE OF PROPOSED AND EXISTING PAVEMENT UNLESS OTHERWISE NOTED.
4. MAXIMUM SLOPE FOR LANDSCAPE AREAS SHALL BE 4:1 UNLESS OTHERWISE NOTED.
5. BENCHMARK: VERTICAL INFORMATION IS BASED ON BPS SURVEY CONTROL POINT 11, BEING A CUT "X" ON CONCRETE PAD APPROXIMATELY 50' SOUTHWEST OF LEYDEN ROCK PUMP STATION 18035-A ON THE NORTH SIDE OF W 87<sup>TH</sup> DR. ELEV=5946.09 (NAVD88)
6. BASIS OF BEARINGS: BEARINGS SHOWN ON THIS SURVEY ARE CONGRUENT WITH THE BEARINGS SHOWN ON THE LEYDEN ROCK SUBDIVISION FILING NO. 1 PLAT AND ARE BASED ON THE ASSUMPTION THAT THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 27 BEARS N89°44'54"W AND IS MONUMENTED AT THE WEST END BY A 3-1/4" ALUMINUM CAP "LS 36561 - 2016" AND AT THE EAST END BY A 3-1/4" ALUMINUM CAP "PLS 13258 - 1997".

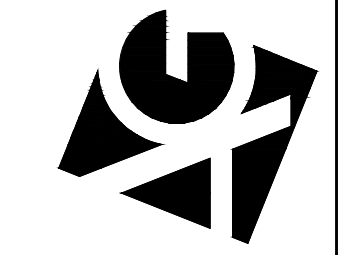
ME = MATCH EXISTING  
ASSMD = ASSUMED

**KEY MAP**



**SUBMITTALS:**  
1st CITY SUBMITTAL 10-18-2024  
2nd CITY SUBMITTAL 2-21-2025  
3RD CITY SUBMITTAL 6-30-2025  
**ISSUED FOR CONSTRUCTION**  
02-26-2024

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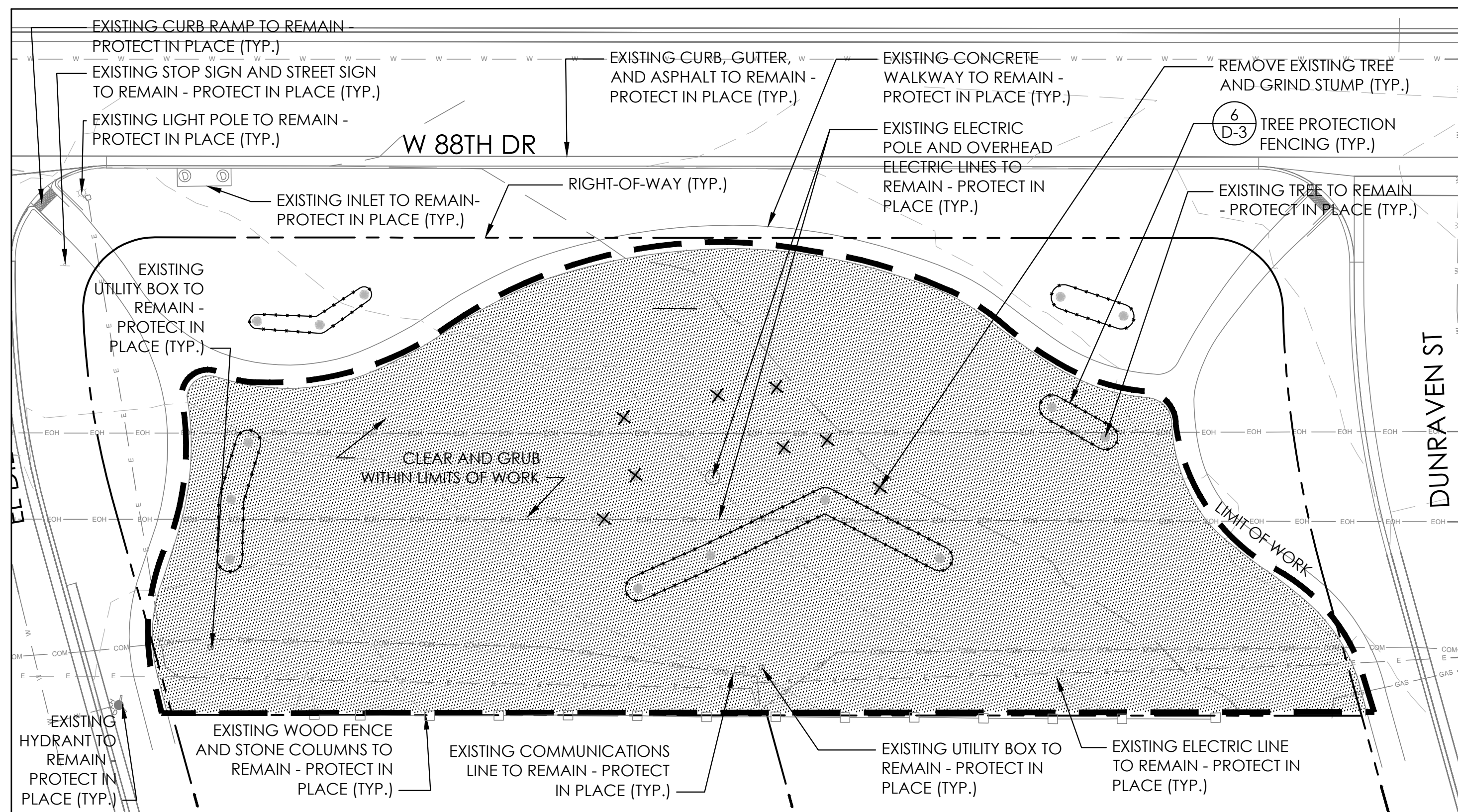


**LESANNE M. DOMINGUEZ**  
925  
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LICENSED LANDSCAPE ARCHITECT  
STATE OF COLORADO

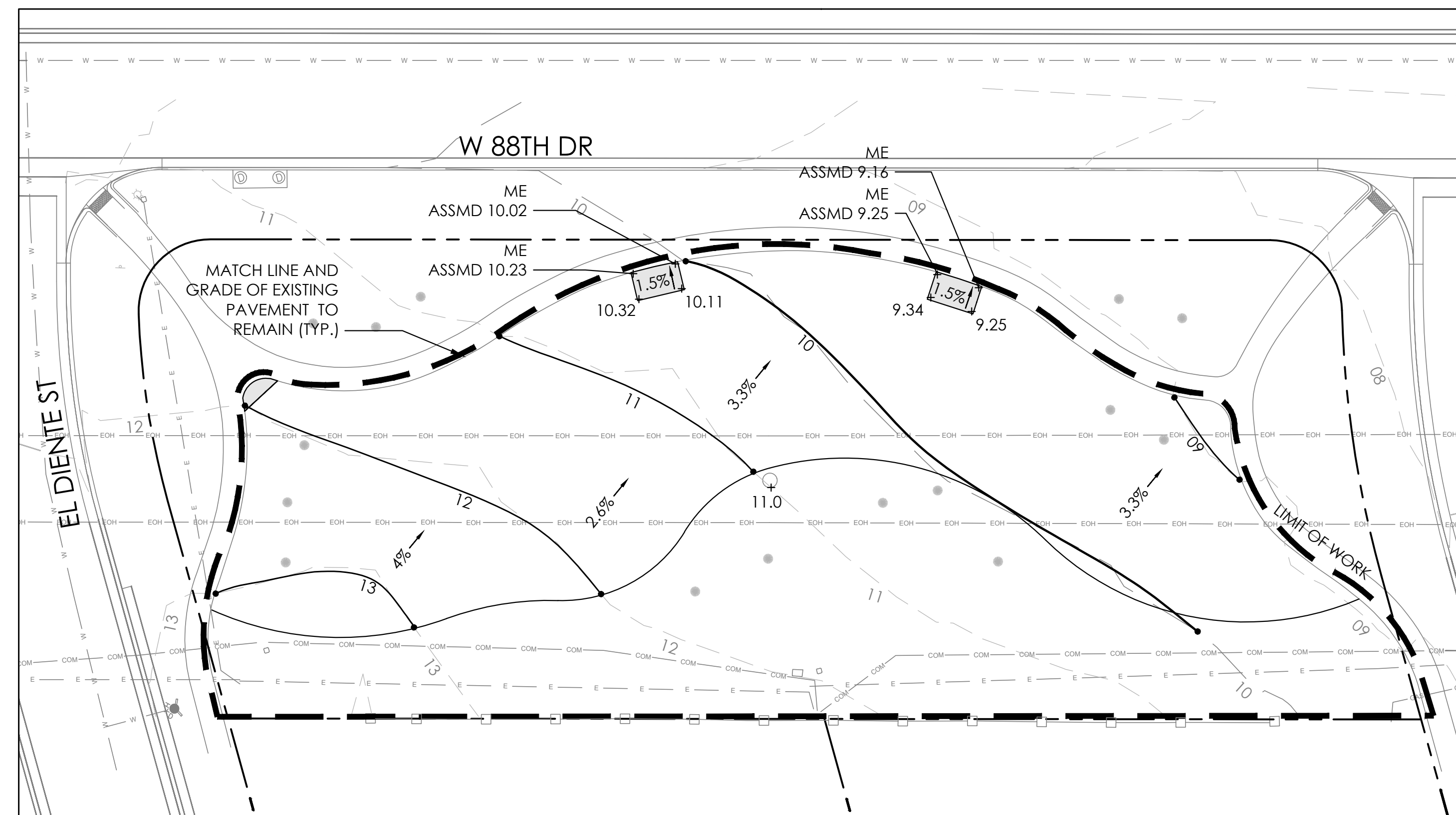
PROJECT # 2302 DRAWN BY: AGG DATE: 08-26-24 CHECK BY: LMD

**PARCEL 5 - PLAN SET**  
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

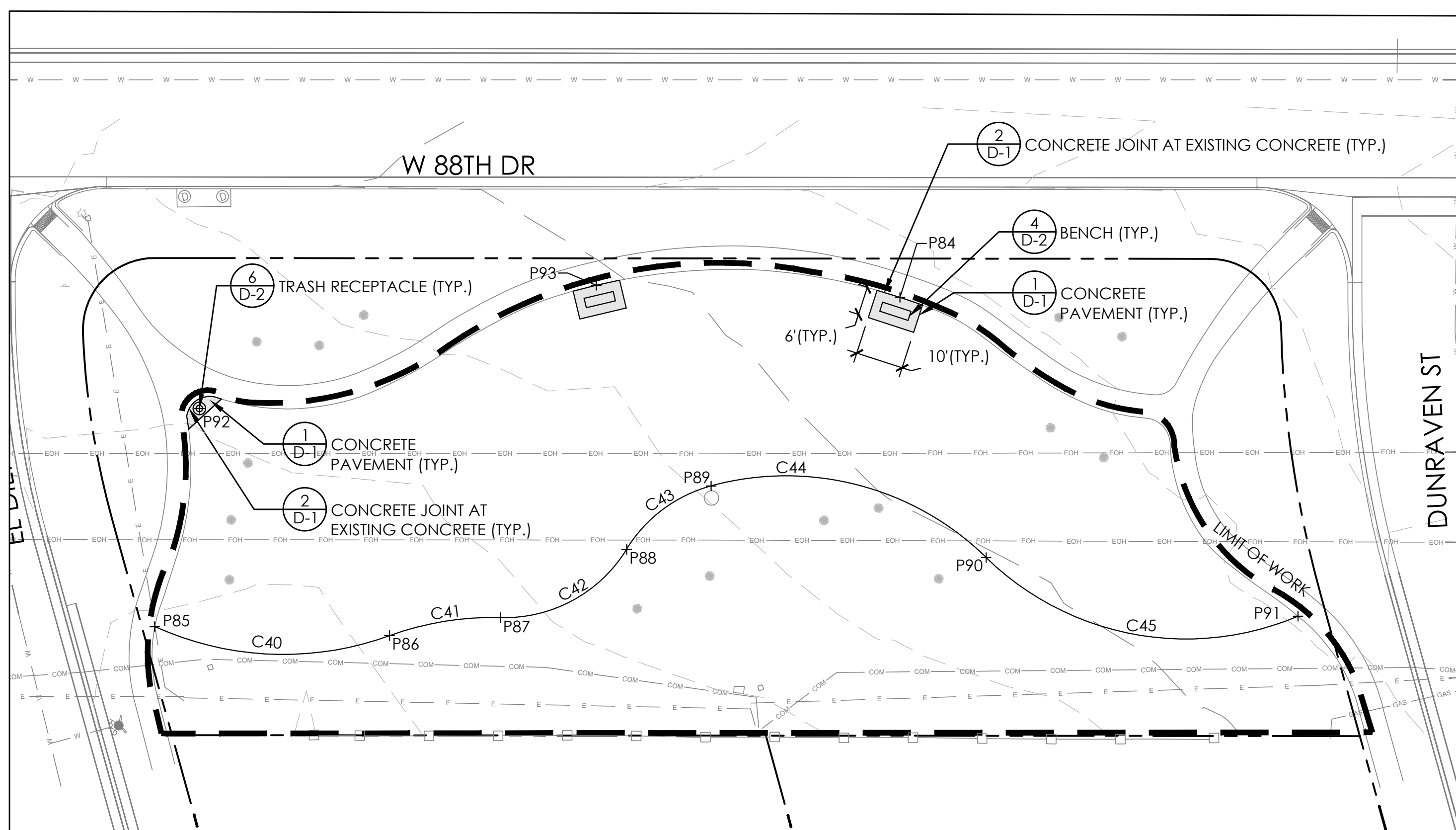
**SHEET:**  
**SP-5**



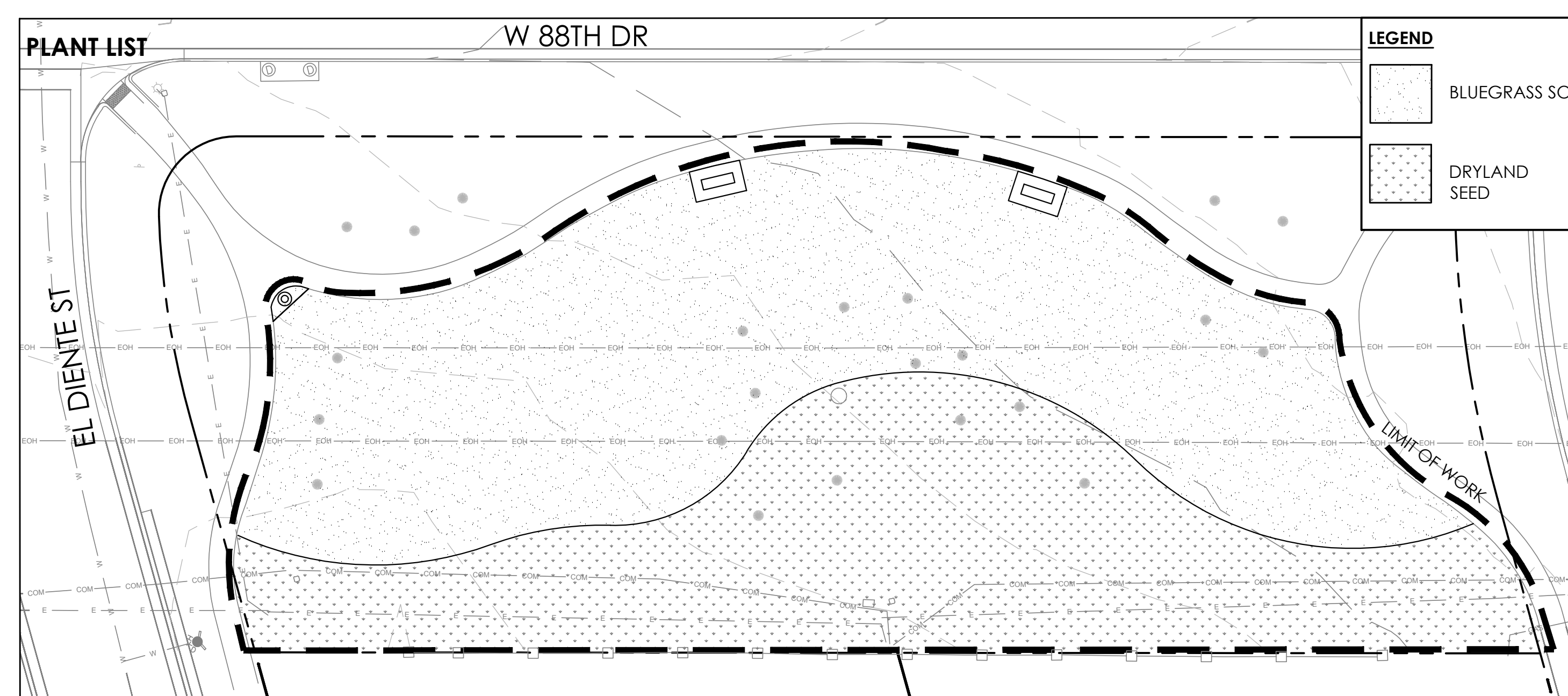
**EXISTING CONDITIONS AND DEMOLITION PLAN**



**GRADING PLAN**

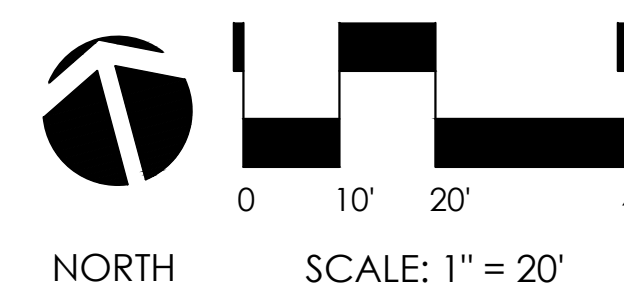


**LAYOUT AND MATERIALS PLAN**



**PLANTING PLAN**

**LAYOUT NOTES:**  
1. SEE SHEET L-1 FOR LAYOUT INFORMATION



PROJECT # 2302 DRAWN BY: AGG DATE: 08-26-24 CHECK BY: LMD

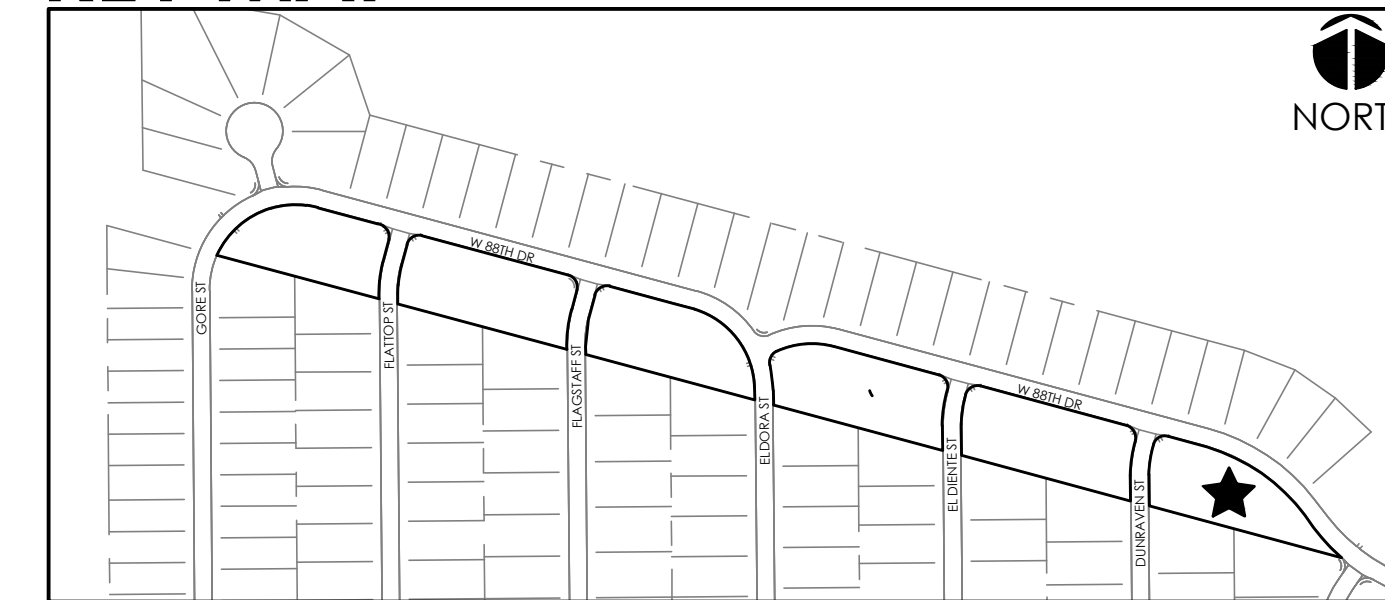
**DEMOLITION NOTES:**

1. ALL UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
2. ALL REMOVALS SHALL BE MARKED IN FIELD AND APPROVED BY DISTRICT'S REPRESENTATIVE PRIOR TO REMOVAL.
3. CALL FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE.
4. ALL ITEMS DESIGNATED FOR REMOVAL SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
5. CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED OUTSIDE THE LIMIT OF WORK, INCLUDING AREAS DISTURBED FOR CONSTRUCTION ACCESS OR STAGING, TO ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
6. REMOVAL OF TREES SHALL INCLUDE REMOVAL OF STUMPS.
7. SEE IRRIGATION PLANS FOR IRRIGATION DEMOLITION NOTES.
8. ALL TREES AND SHRUBS ARE DESIGNATED TO REMAIN UNLESS SPECIFICALLY NOTED FOR REMOVAL. CONFIRM ALL REMOVALS WITH OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.

**GRADING NOTES:**

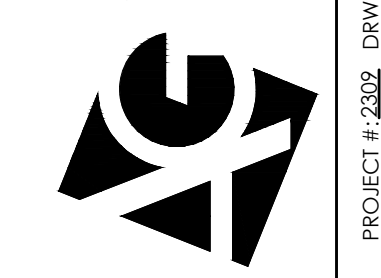
1. GRADING SHALL REMAIN AS EXISTING AND CURRENT DRAINAGE PATTERNS SHALL BE PRESERVED.
2. SPOT ELEVATIONS ARE ABBREVIATED FOR CLARITY. ADD 6100 TO SPOT ELEVATION FOR ACTUAL ELEVATION.
3. LONGITUDINAL SLOPES OF PAVEMENT SHALL NOT EXCEED 5% AND CROSS SLOPES SHALL NOT EXCEED 2% UNLESS OTHERWISE NOTED.
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**KEY MAP**



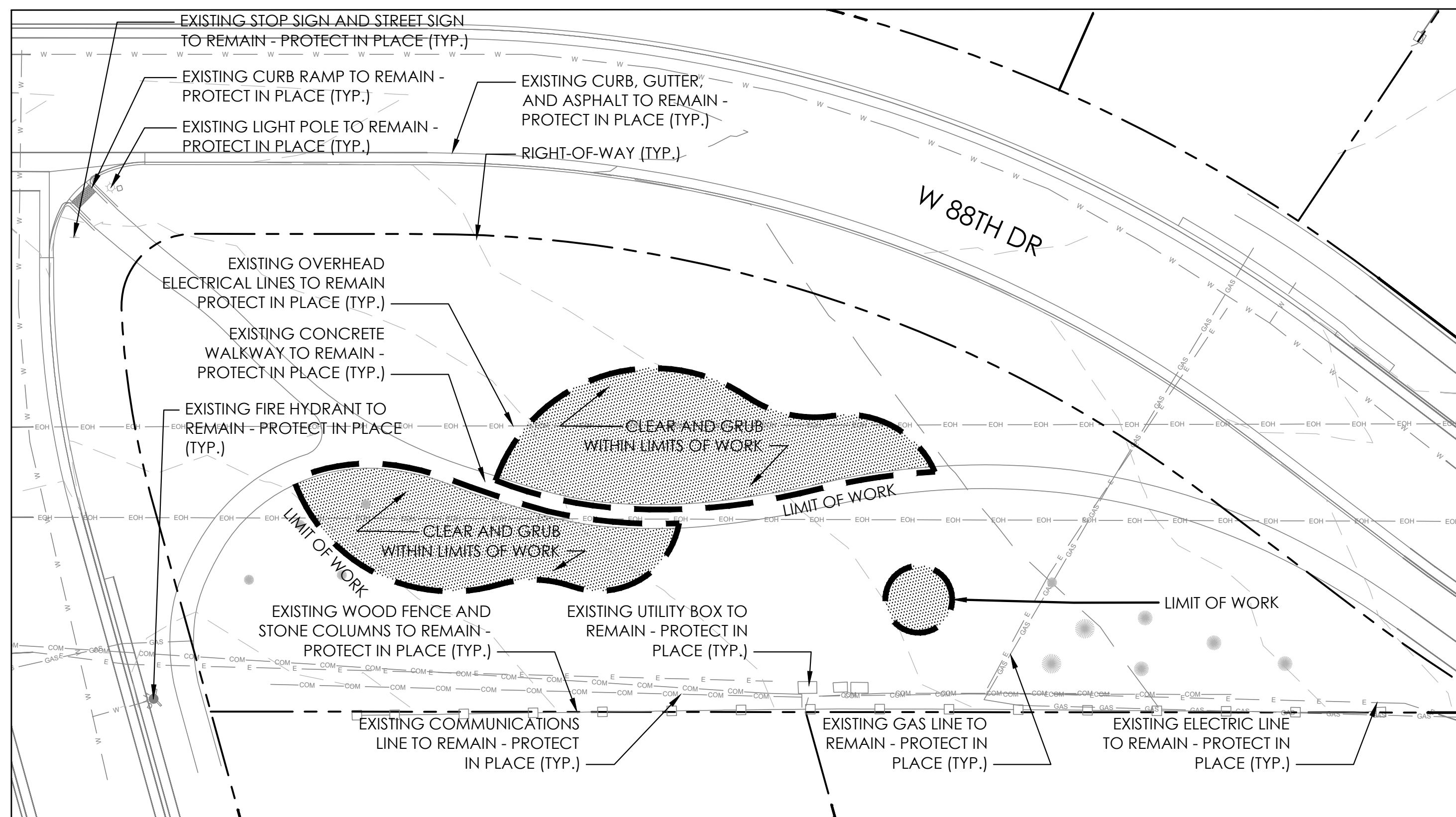
**SUBMITTALS:**  
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 2ND CITY SUBMITTAL 2-21-2025  
 3RD CITY SUBMITTAL 6-30-2025  
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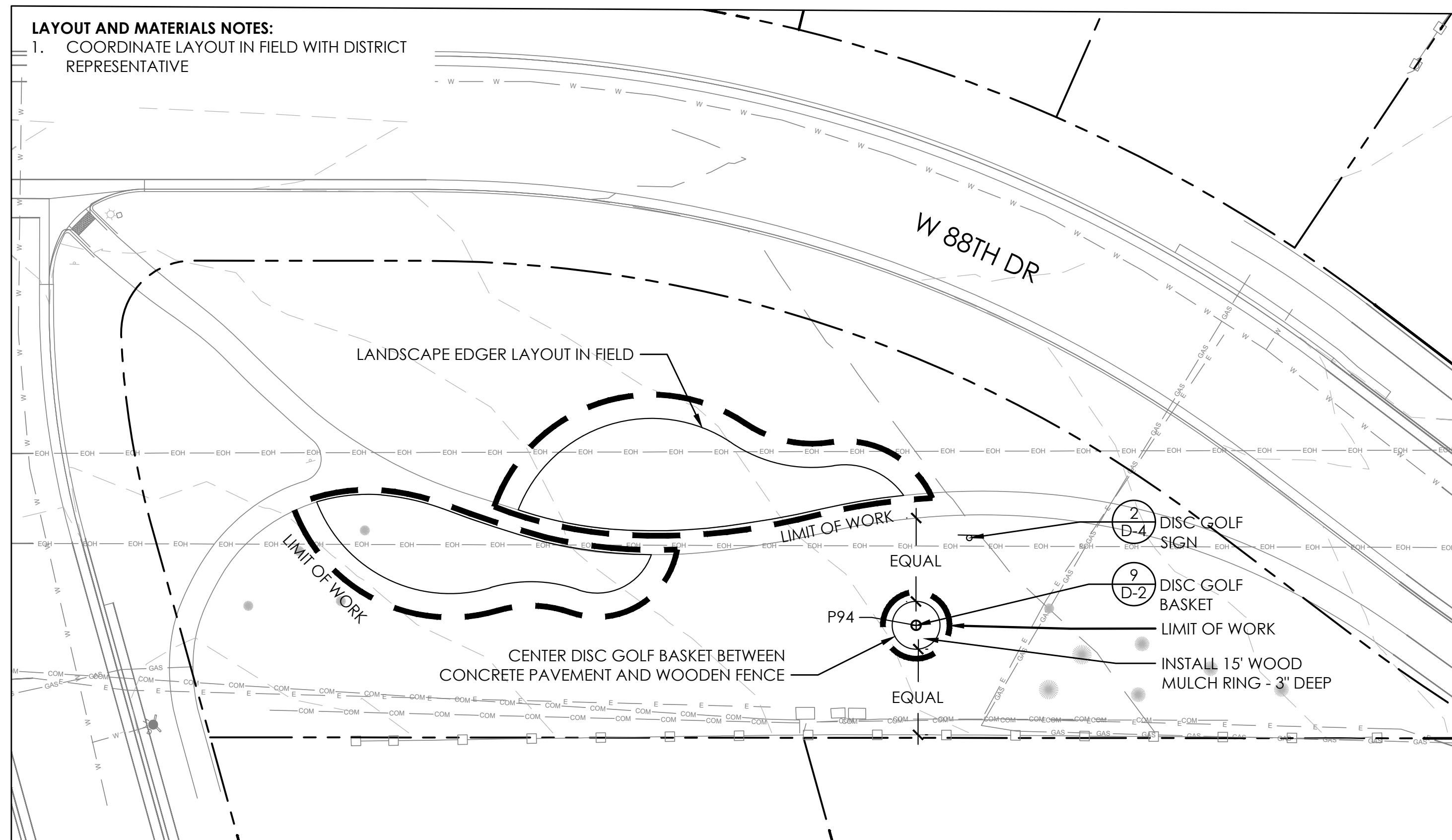


**LESANNE M. DOMINGUEZ**  
 925  
 Original Date of Licensure  
 05-25-2011  
**6-15-25**  
 LICENSED LANDSCAPE ARCHITECT  
 STATE OF COLORADO

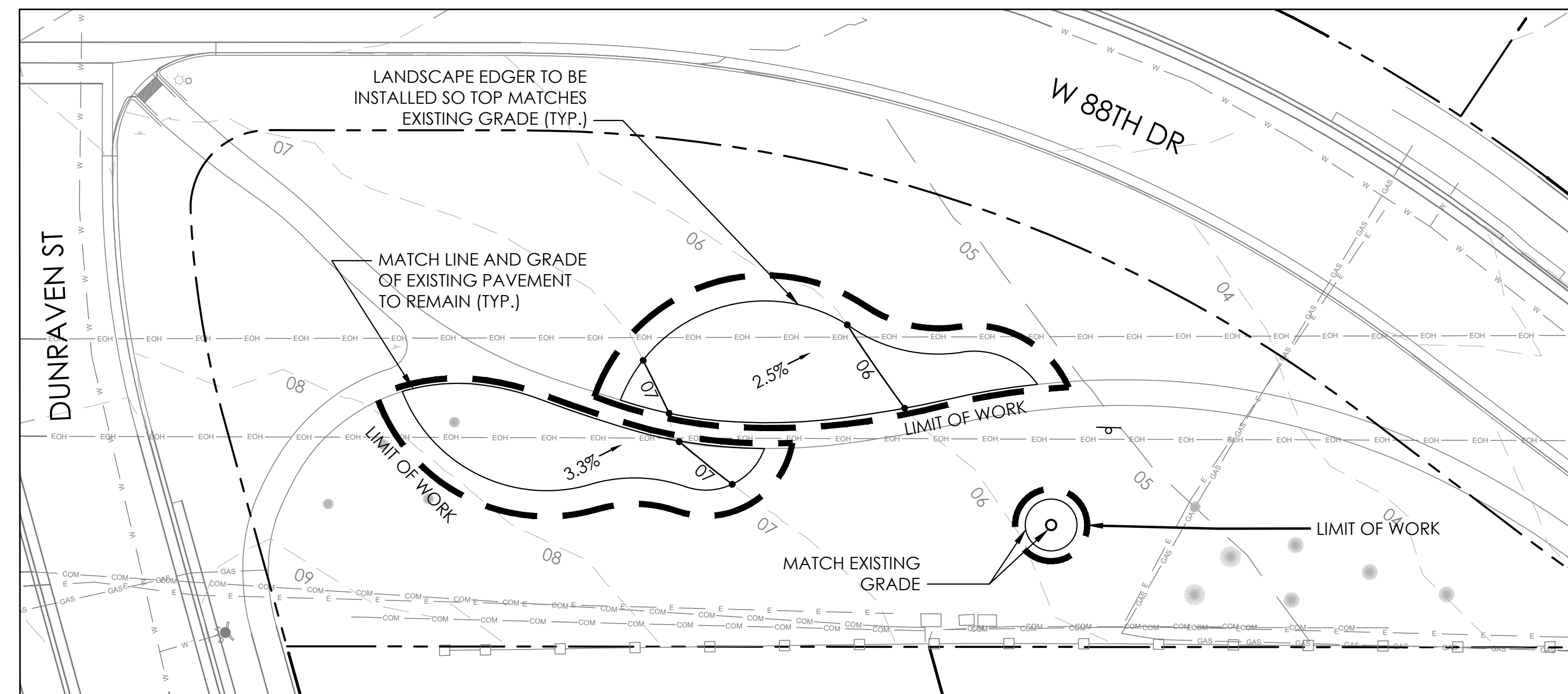
PROJECT # 2302 DRAWN BY: ACG/DATE: 08-30-25 CHECK BY: LMD



**EXISTING CONDITIONS AND DEMOLITION PLAN**



**LAYOUT AND MATERIALS PLAN**



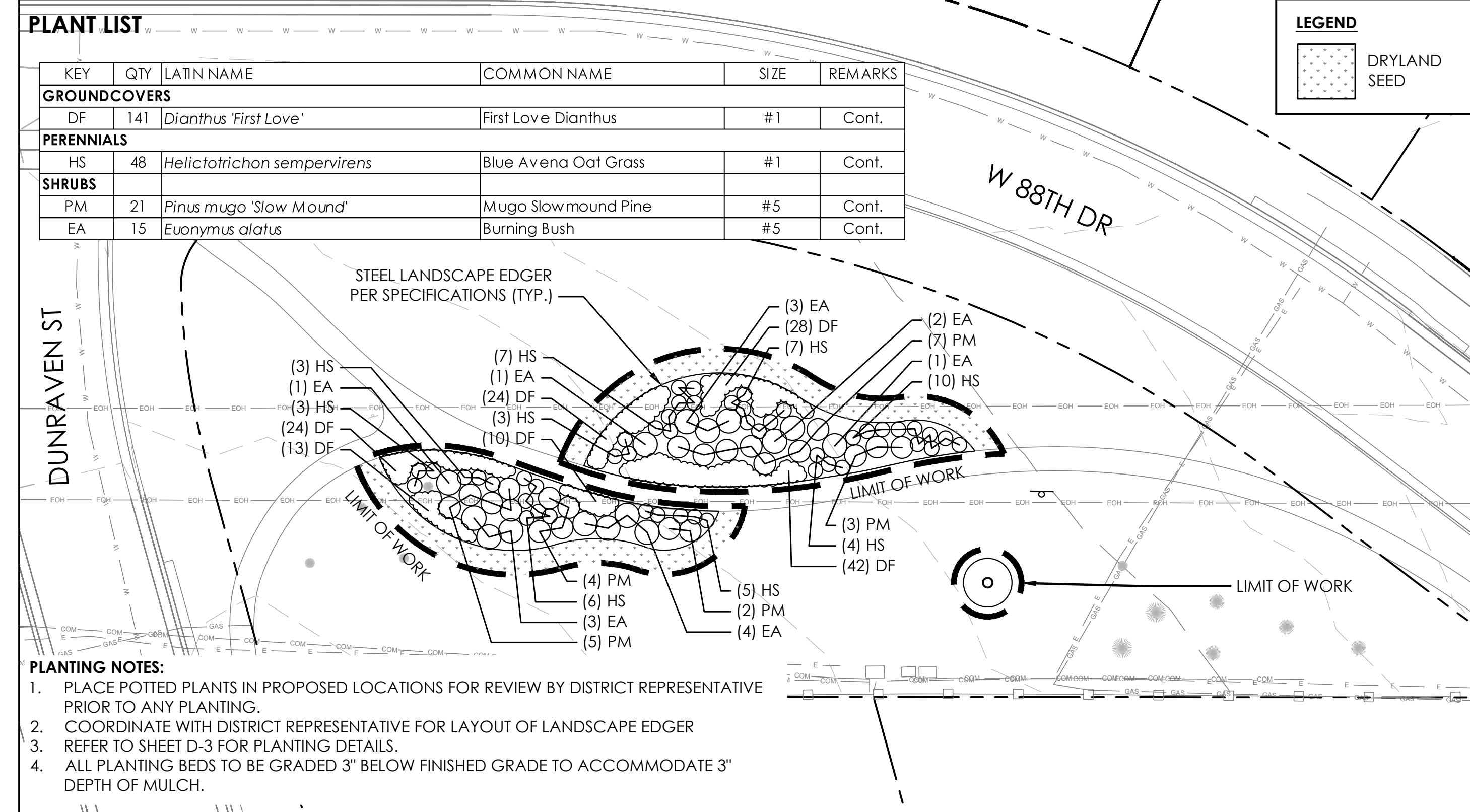
**GRADING PLAN**

**PLANT LIST**

KEY	QTY	LATIN NAME	COMMON NAME	SIZE	REMARKS
<b>GROUNDCOVERS</b>					
DF	141	<i>Dianthus 'First Love'</i>	First Love Dianthus	#1	Cont.
<b>PERENNIALS</b>					
HS	48	<i>Helictotrichon sempervirens</i>	Blue Avena Oat Grass	#1	Cont.
<b>SHRUBS</b>					
PM	21	<i>Pinus mugo 'Slow Mound'</i>	Mugo Slowmound Pine	#5	Cont.
EA	15	<i>Euonymus alatus</i>	Burning Bush	#5	Cont.

**LEGEND**

DRYLAND SEED



**PLANTING PLAN**

- PLANTING NOTES:**
1. PLACE POTTED PLANTS IN PROPOSED LOCATIONS FOR REVIEW BY DISTRICT REPRESENTATIVE PRIOR TO ANY PLANTING.
  2. COORDINATE WITH DISTRICT REPRESENTATIVE FOR LAYOUT OF LANDSCAPE EDGER
  3. REFER TO SHEET D-3 FOR PLANTING DETAILS.
  4. ALL PLANTING BEDS TO BE GRADED 3" BELOW FINISHED GRADE TO ACCOMMODATE 3" DEPTH OF MULCH.

**811**  
 Know what's below.  
 Call before you dig.

**NORTH**

SCALE: 1" = 20'

**PARCEL 6 - PLAN SET**  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**SP-6**

**POINT DATA**

P#	SHEET NUMBER	DESCRIPTION	NORTHING	EASTING
P1	CE-1	CENTER OF STONE SLAB AT FRONT FACE	733985.8782	81361.9522
P2	CE-1	CENTER OF STONE SLAB AT FRONT FACE	733989.7684	81358.2862
P3	CE-1	CENTER OF STONE SLAB AT FRONT FACE	733984.5278	81365.5387
P4	SP-2	END OF LANDSCAPE EDGER AT CONCRETE SIDEWALK	737724.3750	79458.6850
P5	SP-2	END OF LANDSCAPE EDGER AT CONCRETE SIDEWALK	737722.8280	79477.4053
P6	SP-2	CENTER OF EDGE OF CONCRETE BENCH PAD	737705.6560	79480.5329
P7	SP-2	END OF LANDSCAPE EDGER AT EDGER INTERSECTION	737685.6487	79495.2546
P8	SP-2	LANDSCAPE EDGER ATP.O.C.	737675.5291	79523.3532
P9	SP-2	END OF LANDSCAPE EDGER AT EDGER INTERSECTION	737676.5696	79548.6827
P10	SP-2	CENTER OF EDGE OF CONCRETE BENCH PAD	737679.2583	79566.5219
P11	SP-2	LANDSCAPE EDGER ATP.O.C.	737666.5878	79570.4639
P12	SP-2	LANDSCAPE EDGER ATP.O.C.	737665.4461	79600.9196
P13	SP-2	LANDSCAPE EDGER ATP.O.C.	737686.9138	79594.4826
P14	SP-2	END OF LANDSCAPE EDGER AT EDGER INTERSECTION	737681.2915	79631.6924
P15	SP-2	END OF LANDSCAPE EDGER AT CONCRETE SIDEWALK	737671.2551	79641.1847
P16	SP-2	END OF LANDSCAPE EDGER AT TRASH RECEPTACLE PAD	737733.7438	79488.0951
P17	SP-2	LANDSCAPE EDGER ATP.O.C.	737748.9824	79522.2734
P18	SP-2	LANDSCAPE EDGER ATP.O.C.	737748.0143	79536.2176
P19	SP-2	END OF LANDSCAPE EDGER AT CONCRETE SIDEWALK	737742.7147	79556.2927
P20	SP-2	CENTER OF EDGE OF CONCRETE BENCH PAD	737738.1727	79523.0755
P21	SP-2	CENTER OF TRASH RECEPTACLE	737731.3944	79486.5203
P22	SP-3	CENTERLINE OF CURB AT SIDEWALK AND P.O.C. & INTERSECTION OF CURBS	737667.6324	79742.9272
P23	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737641.8250	79759.9159
P24	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737637.9542	79776.0200
P25	SP-3	CENTERLINE OF CONCRETE CURB AT SIDEWALK AND P.O.C.	737653.3200	79807.8333
P26	SP-3	END OF LANDSCAPE EDGER AT CONCRETE CURB AT P.O.C.	737649.0168	79742.8774
P27	SP-3	LANDSCAPE EDGER ATP.O.C.	737623.9919	79756.3950
P28	SP-3	LANDSCAPE EDGER ATP.O.C.	737620.5966	79765.1919
P29	SP-3	LANDSCAPE EDGER AT CONCRETE PATH AT P.O.C.	737617.2672	79774.4391
P31	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737628.1875	79773.1074
P32	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737612.6232	79782.6232
P33	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737603.2553	79824.3632
P34	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737604.9810	79843.8040
P35	SP-3	CENTERLINE OF INTERSECTION OF CONCRETE CURB	737608.1222	79849.7597
P36	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737597.2927	79885.9143
P37	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737605.9495	79851.1179
P38	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737635.9098	79825.3426
P39	SP-3	CENTERLINE OF CONCRETE CURB AT P.O.C.	737648.6787	79820.2179
P40	SP-3	CENTER OF TRASH RECEPTACLE	737663.1236	79743.2866
P41	SP-3	LANDSCAPE EDGER AT SIDEWALK AND P.O.C.	737660.7592	79792.9835
P42	SP-3	LANDSCAPE EDGER ATP.O.C.	737662.8858	79828.6660
P43	SP-3	LANDSCAPE EDGER ATP.O.C.	737646.8990	79851.8572
P44	SP-3	LANDSCAPE EDGER AT SIDEWALK AND P.O.C.	737614.2583	79865.6474
P45	SP-3	CENTER OF CORNHOLE BOARD AT BOTTOM EDGE	737653.2986	79760.1025
P46	SP-3	CENTER OF TABLE	737656.2627	79748.9423
P47	SP-3	CENTER OF CORNHOLE BOARD AT BOTTOM EDGE	737646.9366	79785.8919
P48	SP-3	CENTER OF TABLE	737646.5178	79798.2415
P49	SP-3	CENTER OF DRAIN SUMP	737623.0999	79813.2761
P50	SP-3	CENTER OF SLACKLINE POST	737623.7176	79785.4515
P51	SP-3	CENTER OF SLACKLINE POST	737623.9472	79820.9361
P52	SP-3	CENTER OF SLACKLINE POST	737613.3288	79829.8586

P.I.P. = POURED-IN-PLACE  
P.O.C. = POINT OF CURVATURE

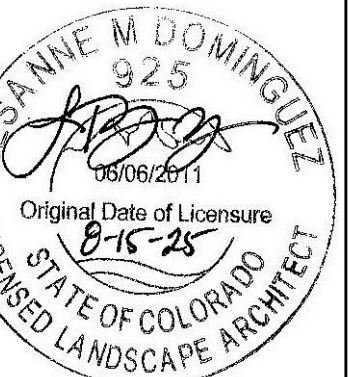
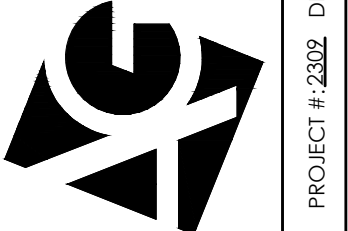
P#	SHEET NUMBER	DESCRIPTION	NORTHING	EASTING
P53	SP-4	CENTERLINE OF CONCRETE CURB AT SIDEWALK AND P.O.C.	737572.3159	80022.4500
P54	SP-4	CENTERLINE OF CONCRETE CURB AT P.O.C.	737535.8630	80040.3114
P55	SP-4	CENTERLINE OF CONCRETE CURB AT P.O.C.	737519.5915	80090.9424
P56	SP-4	CONCRETE CURB AT SIDEWALK AND P.O.C.	737557.9659	80122.0000
P57	SP-4	CENTERLINE OF INTERSECTION OF CONCRETE CURB	737521.1571	80116.7191
P58	SP-4	CENTERLINE OF INTERSECTION OF CONCRETE CURB	737540.5364	80157.6014
P59	SP-4	CENTER OF CONCRETE BENCH PAD AT CURB	737518.1667	80143.1710
P60	SP-4	CENTER OF DRAIN SUMP	737530.3476	80139.7527
P61	SP-4	CENTERLINE OF CONCRETE CURB AT EXISTING SIDEWALK	737555.2316	80178.7901
P62	SP-4	CENTERLINE OF CONCRETE CURB AT EXISTING SIDEWALK	737558.6784	80132.7256
P63	SP-4	LANDSCAPE EDGER AT EXISTING SIDEWALK	737569.9446	80049.0584
P64	SP-4	LANDSCAPE EDGER AT P.O.C.	737578.6997	80061.9198
P65	SP-4	LANDSCAPE EDGER AT P.O.C.	737583.3238	80073.3785
P66	SP-4	LANDSCAPE EDGER AT CONCRETE CURB	737578.6477	80087.6282
P67	SP-4	CENTERLINE OF CONCRETE CURB AT EXISTING SIDEWALK	737563.5589	80068.2546
P68	SP-4	LANDSCAPE EDGER AT CONCRETE CURB	737578.0032	80089.7673
P69	SP-4	CENTERLINE OF CONCRETE CURB AT P.O.C.	737581.8492	80118.5537
P70	SP-4	CENTERLINE OF CONCRETE CURB AT EXISTING SIDEWALK	737563.1928	80142.7925
P71	SP-4	LANDSCAPE EDGER AT CONCRETE CURB	737577.3240	80138.4480
P72	SP-4	LANDSCAPE EDGER AT P.O.C.	737573.3197	80152.8520
P73	SP-4	LANDSCAPE EDGER AT P.O.C.	737567.5409	80163.6112
P74	SP-4	LANDSCAPE EDGER AT EXISTING SIDEWALK	737561.1570	80168.0441
P75	SP-4	CENTER OF TRASH RECEPTACLE	737539.3538	80125.3597
P76	SP-4	CENTER OF TABLE	737550.4107	80118.1484
P77	SP-4	CENTER OF TABLE	737542.9174	80108.7973
P78	SP-4	CENTER OF TABLE	737534.4296	80117.1409
P79	SP-4	CENTER OF TABLE	737525.6497	80108.9631
P80	SP-4	CORNER OF BOCCIE BALL COURT	737535.2159	80102.8718
P81	SP-4	CORNER OF BOCCIE BALL COURT	737552.5450	80027.2348
P82	SP-4	CORNER OF HORSESHOE PIT	737574.7140	80128.5985
P83	SP-4	CORNER OF HORSESHOE PIT	737566.4448	80080.9370
P84	SP-5	CENTER OF CONCRETE BENCH PAD	737501.2348	80462.9037
P85	SP-5	LANDSCAPE EDGER AT P.O.C.	737474.9734	80294.1283
P86	SP-5	LANDSCAPE EDGER AT P.O.C.	737460.4797	80341.1872
P87	SP-5	LANDSCAPE EDGER AT P.O.C.	737458.0613	80364.6384
P88	SP-5	LANDSCAPE EDGER AT P.O.C.	737465.0406	80393.8904
P89	SP-5	LANDSCAPE EDGER AT P.O.C.	737473.2791	80414.4517
P90	SP-5	LANDSCAPE EDGER AT P.O.C.	737443.8853	80466.2372
P91	SP-5	LANDSCAPE EDGER AT P.O.C.	737415.0815	80526.2390
P92	SP-5	TRASH RECEPTACLE	737516.7498	80315.0086
P93	SP-5	CENTER OF CONCRETE BENCH PAD	737520.1563	80402.0764
P94	SP-6	CENTER OF DISC GOLF BASKET	737356.1834	80739.5753

**CURVE DATA**

C#	SHEET NUMBER	DESCRIPTION	TOTAL ANGLE	ARC LENGTH	RADIUS
C1	SP-2	LANDSCAPE EDGER BETWEEN P4 & P7	125.84	65.89	30
C2	SP-2	LANDSCAPE EDGER BETWEEN P5 & P8	89.10	73.09	47
C3	SP-2	LANDSCAPE EDGER BETWEEN P9 & P11	20.75	72.43	200
C4	SP-2	LANDSCAPE EDGER BETWEEN P13 & P15	76.00	53.06	40
C5	SP-2	LANDSCAPE EDGER BETWEEN P9 & P11	106.00	27.75	15
C6	SP-2	LANDSCAPE EDGER BETWEEN P11 & P12	61.05	31.97	30
C7	SP-2	LANDSCAPE EDGER BETWEEN P12 & P14	119.84	41.83	20
C8	SP-2	LANDSCAPE EDGER BETWEEN P16 & P17	106.96	46.67	25
C9	SP-2	LANDSCAPE EDGER BETWEEN P17 & P18	40.91	14.27	20
C10	SP-2	LANDSCAPE EDGER BETWEEN P18 & P19	62.69	21.88	20
C11	SP-3	CONCRETE CURB BETWEEN P21 & P22	135.048	38.89	16.75
C12	SP-3	CONCRETE CURB BETWEEN P22 & P23	48.28	17.27	20.25
C13	SP-3	CONCRETE CURB BETWEEN P23 & P24	127.04	43.24	19.75
C14	SP-3	LANDSCAPE EDGER BETWEEN P26 & P27	140.50	35.74	15
C15	SP-3	LANDSCAPE EDGER BETWEEN P27 & P28	56.26	9.81	10
C16	SP-3	LANDSCAPE EDGER BETWEEN P28 & P29	220.76	10.27	10
C17	SP-3	CONCRETE CURB BETWEEN P30 & P31	107.15	21.50	11.75
C18	SP-3	CONCRETE CURB BETWEEN P32 & P33	10.03	45.34	120.25
C19	SP-3	LANDSCAPE EDGER BETWEEN P33 & P34	53.31	12.56	13.5
C20	SP-3	CONCRETE CURB BETWEEN P38 & P39	68.01	14.24	12
C21	SP-3	CONCRETE CURB BETWEEN P37 & P38	30.66	40.13	74.75
C22	SP-3	CONCRETE CURB BETWEEN P35 & P37	100.86	40.48	23.25
C23	SP-3	LANDSCAPE EDGER BETWEEN P41 & P42	116.98	42.87	21
C24	SP-3	LANDSCAPE EDGER BETWEEN P42 & P43	41.14	28.72	40
C25	SP-3	LANDSCAPE EDGER BETWEEN P43 & P44	106.40	41.14	22
C26	SP-4	CONCRETE CURB BETWEEN P53 & P54	110.75	47.45	24.75
C27	SP-4	CONCRETE CURB BETWEEN P59 & P60	18.02	53.48	169.75
C28	SP-4	CONCRETE CURB BETWEEN P55 & P56	156.47	68.27	25.25
C29	SP-4	CONCRETE CURB BETWEEN P57 & P58	139.01	55.33	25.25
C30	SP-4	CONCRETE CURB BETWEEN P61 & P62	139.01	59.44	24.75
C31	SP-4	LANDSCAPE EDGER BETWEEN P63 & P64	139.01	59.44	16
C32	SP-4	LANDSCAPE EDGER BETWEEN P64 & P65	31.44	12.62	23
C33	SP-4	LANDSCAPE EDGER BETWEEN P65 & P66	111.15	17.46	9
C34	SP-4	CONCRETE CURB BETWEEN P67 & P68	82.44	28.06	19.75
C35	SP-4	CONCRETE CURB BETWEEN P68 & P69	27.97	29.29	60
C36	SP-4	CONCRETE CURB BETWEEN P69 & P70	117.43	36.89	18
C37	SP-4	LANDSCAPE EDGER BETWEEN P79 & P80	16.03	36.15	12.5
C38	SP-4	LANDSCAPE EDGER BETWEEN P73 & P74	102.03	8.9	5
C39	SP-4	LANDSCAPE EDGER BETWEEN P72 & P73	48.05	12.57	15
C40	SP-5	LANDSCAPE EDGER BETWEEN P85 & P86	44.31	50.27	65
C41	SP-5	LANDSCAPE EDGER BETWEEN P86 & P87	21.72	23.68	62.5
C42	SP-5	LANDSCAPE EDGER BETWEEN P87 & P88	60.16	31.50	30
C43	SP-5	LANDSCAPE EDGER BETWEEN P88 & P89	43.32	22.68	30
C44	SP-5	LANDSCAPE EDGER BETWEEN P89 & P90	59.50	62.30	60
C45	SP-5	LANDSCAPE EDGER BETWEEN P90 & P91	67.37	70.55	60

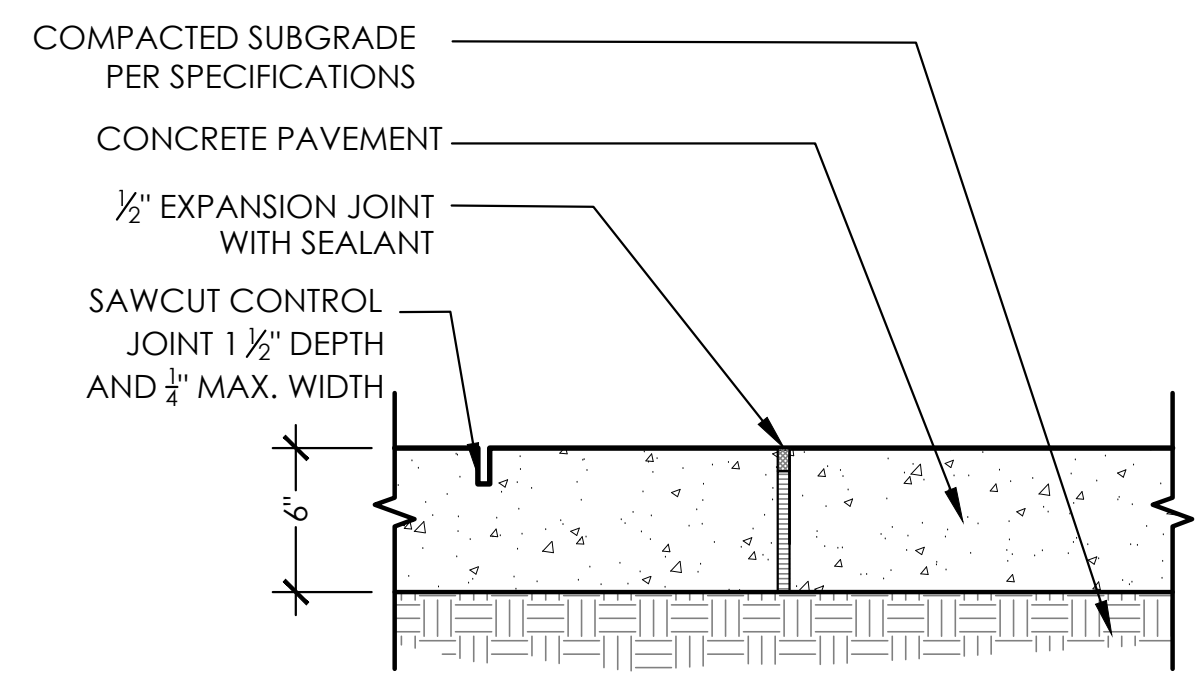
SUBMITTALS:  
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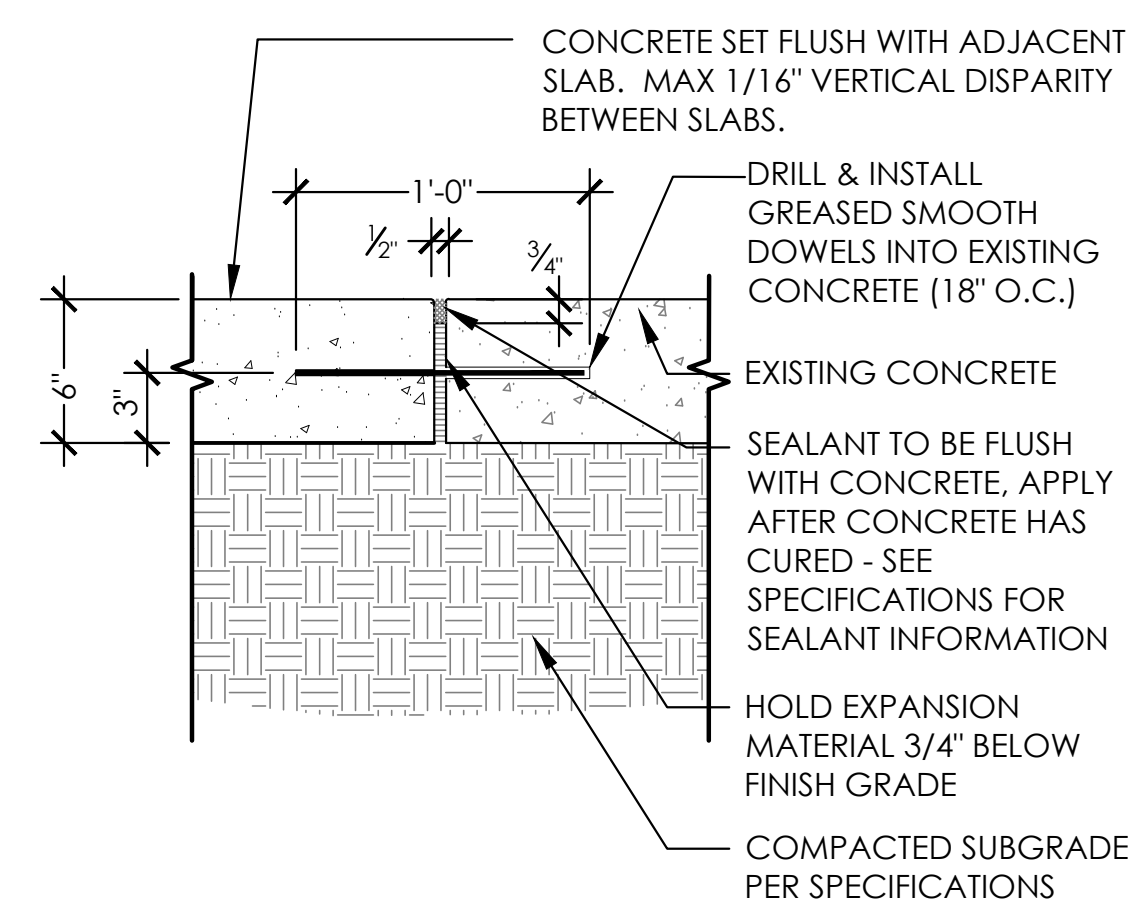
LAYOUT DATA  
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
**L-1**

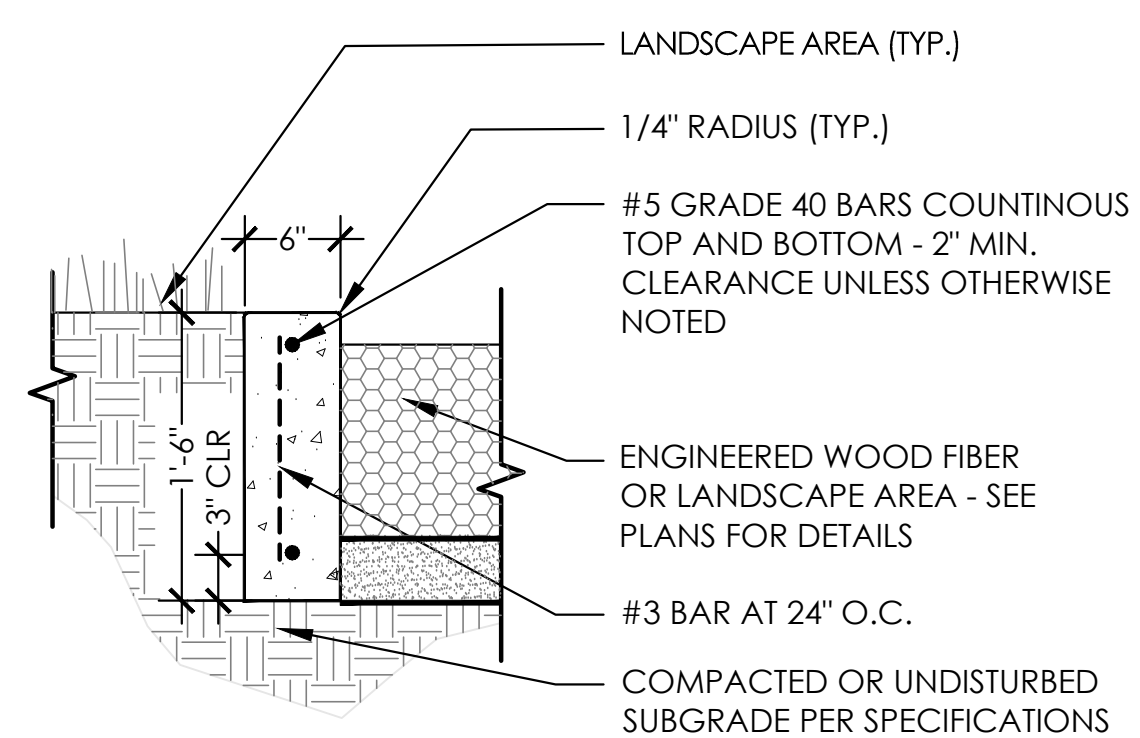


- NOTES:
1. CONCRETE PAVEMENT SHALL HAVE MEDIUM BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL.
  2. COORDINATE LOCATION OF JOINTS WITH DISTRICT REPRESENTATIVE.

**1** CONCRETE PAVEMENT SECTION NTS

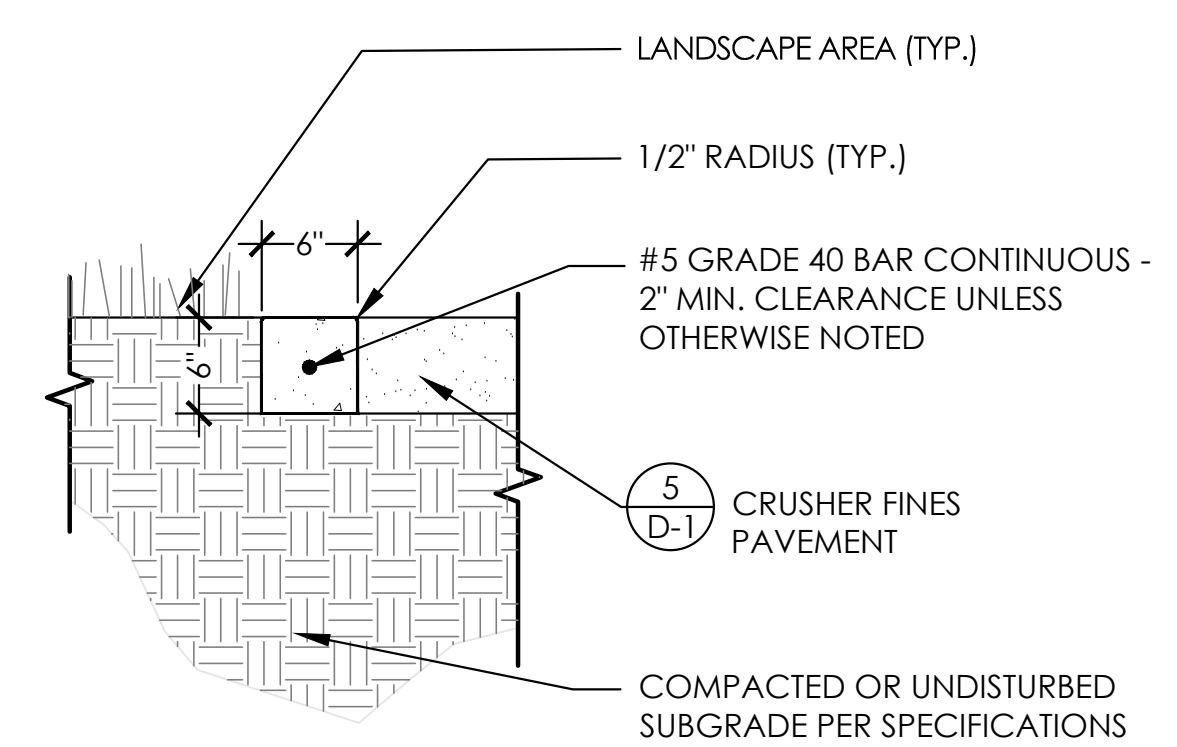


**2** CONCRETE JOINT AT EXISTING CONCRETE SECTION NTS

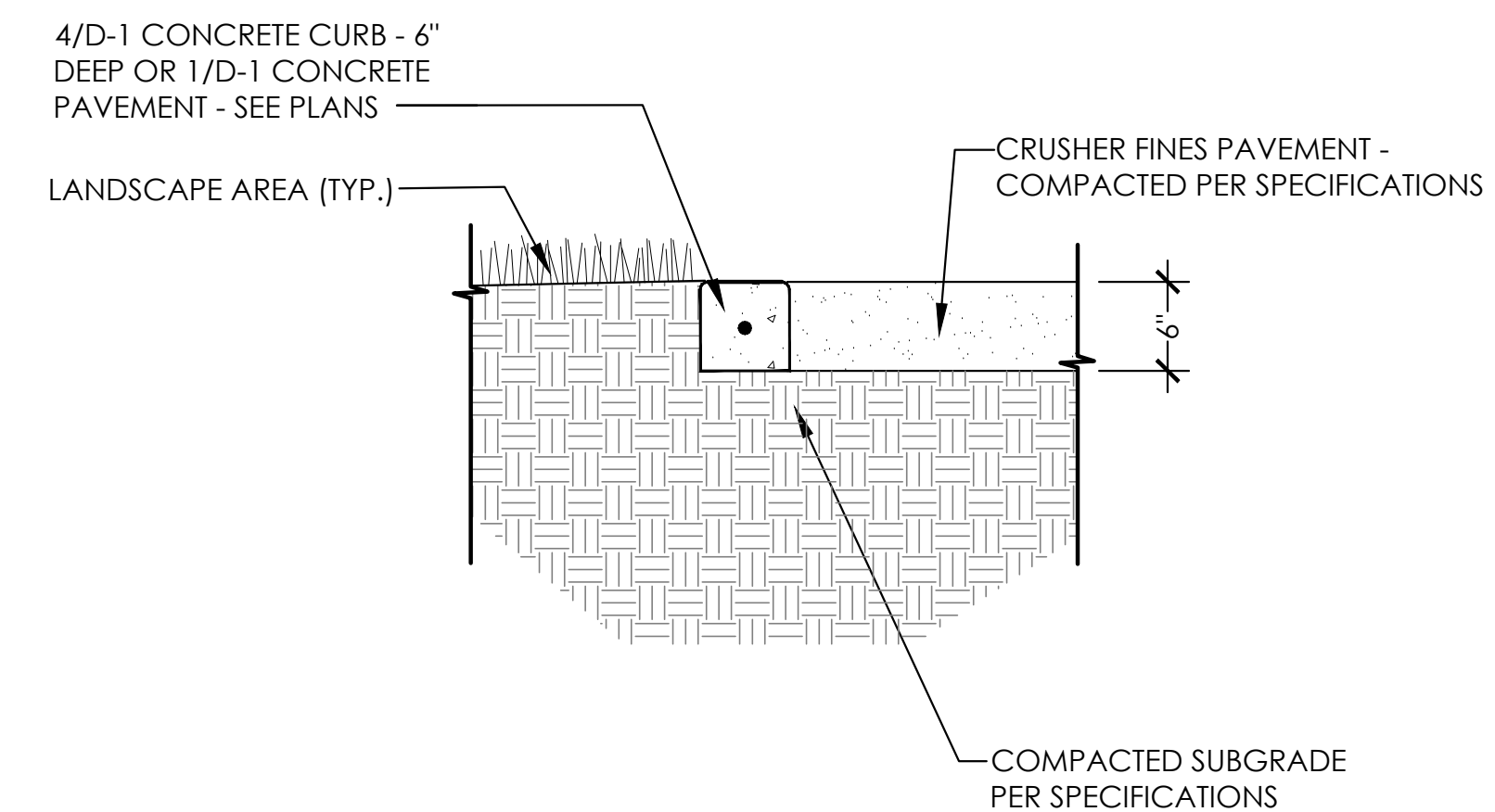


- NOTES:
1. SAWCUT FACE OF CURB EVERY 5' - COORDINATE WITH DISTRICT REPRESENTATIVE.

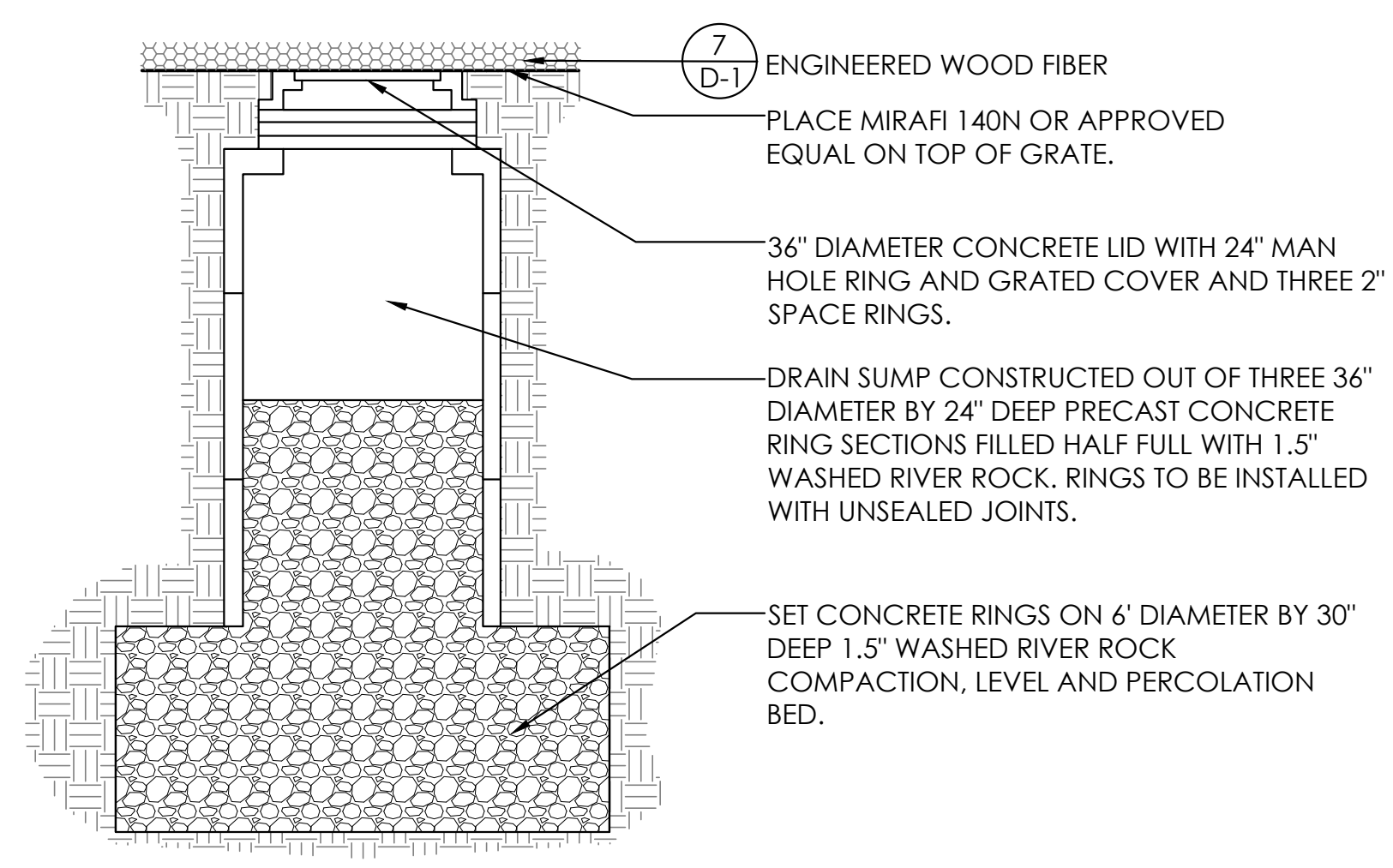
**3** CONCRETE CURB - 18\"/>



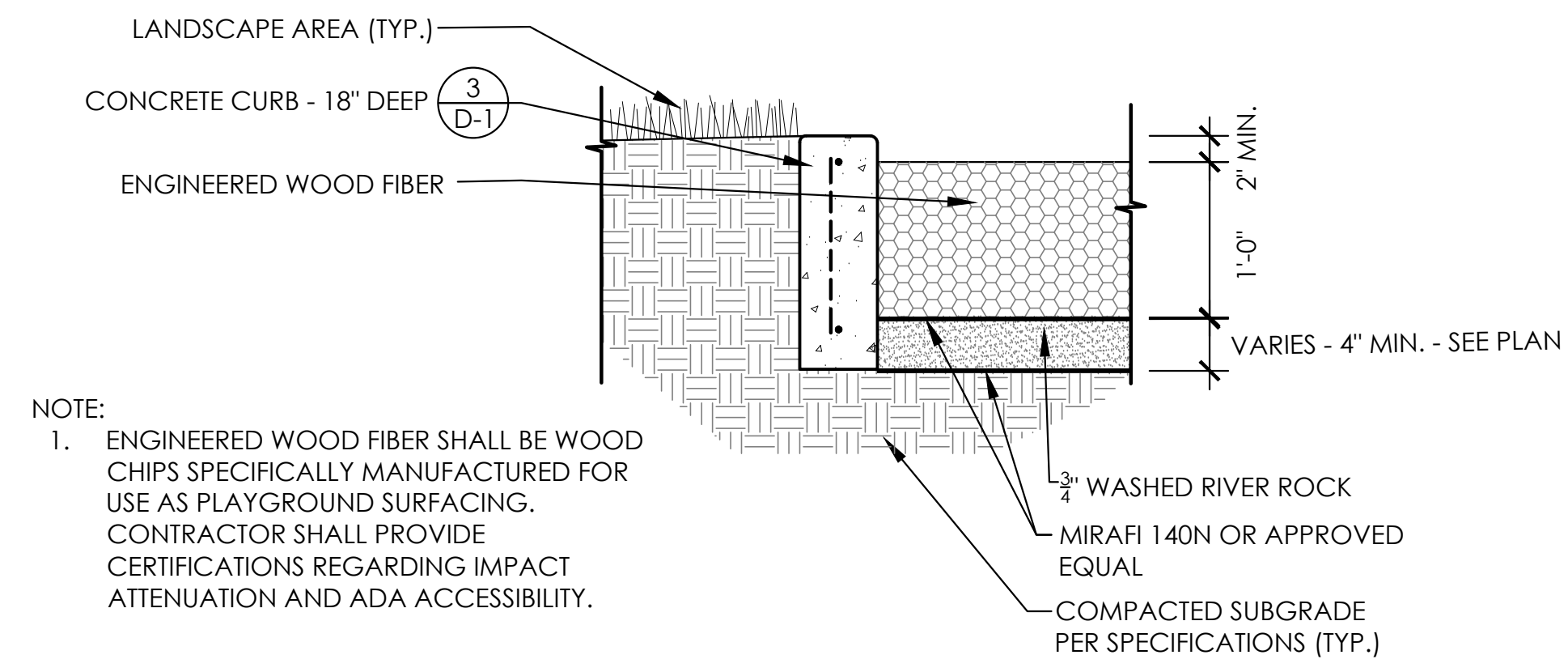
**4** CONCRETE CURB - 6\"/>



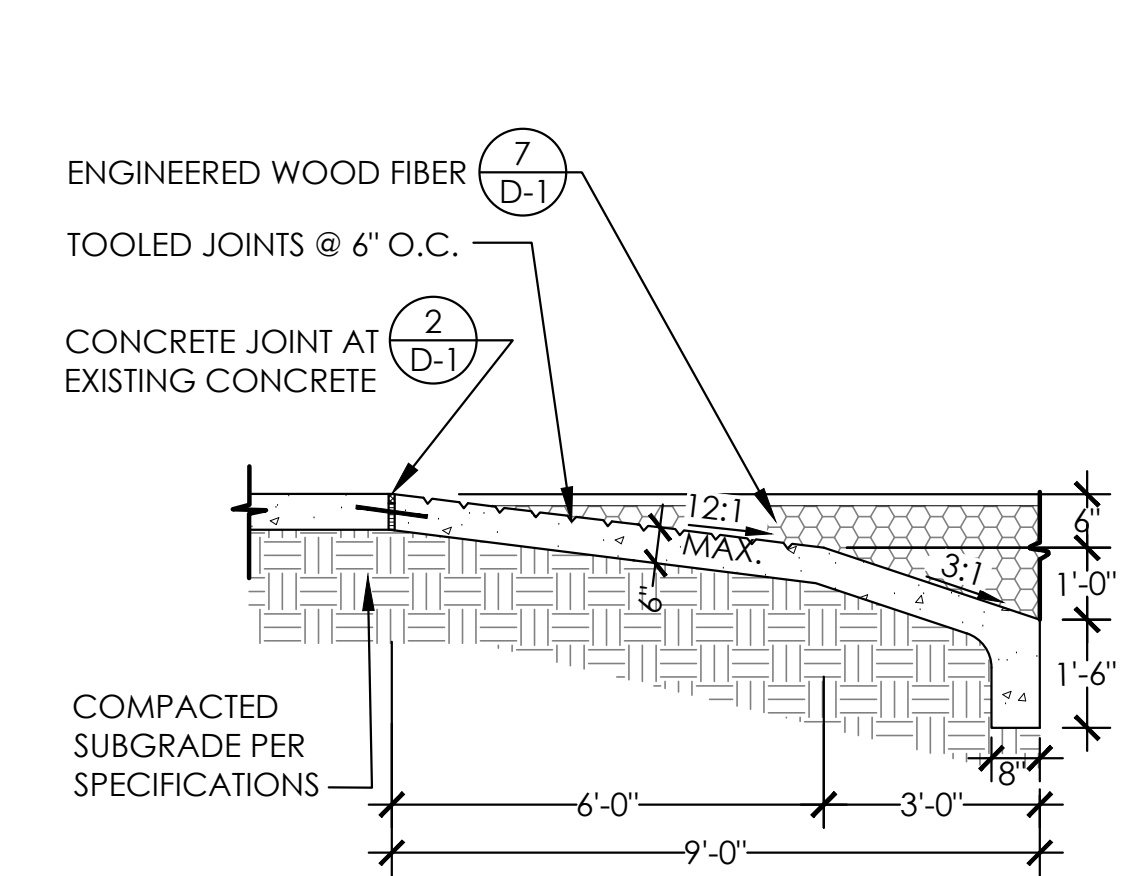
**5** CRUSHER FINES PAVEMENT SECTION NTS



**6** DRAIN SUMP SECTION NTS

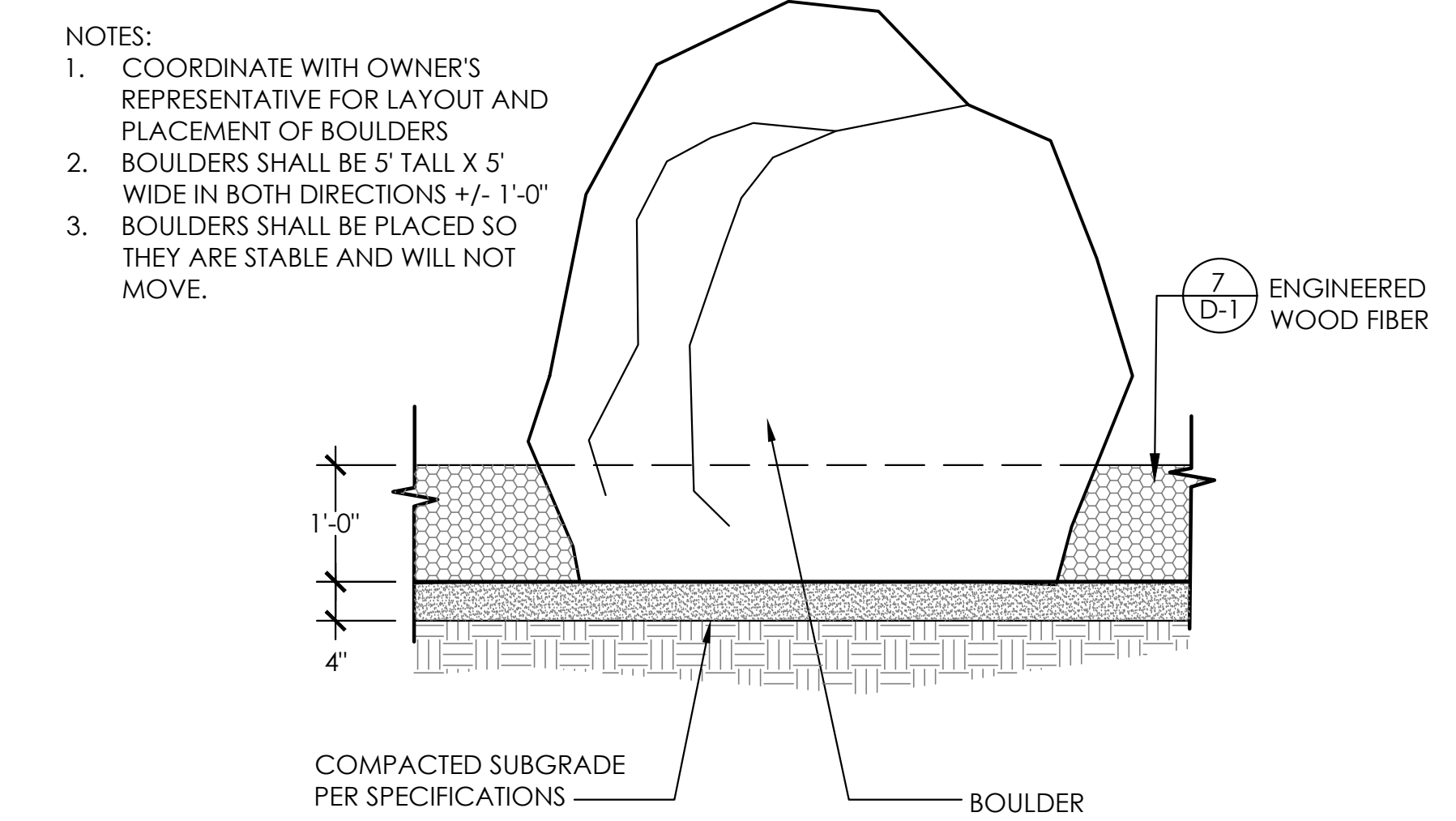
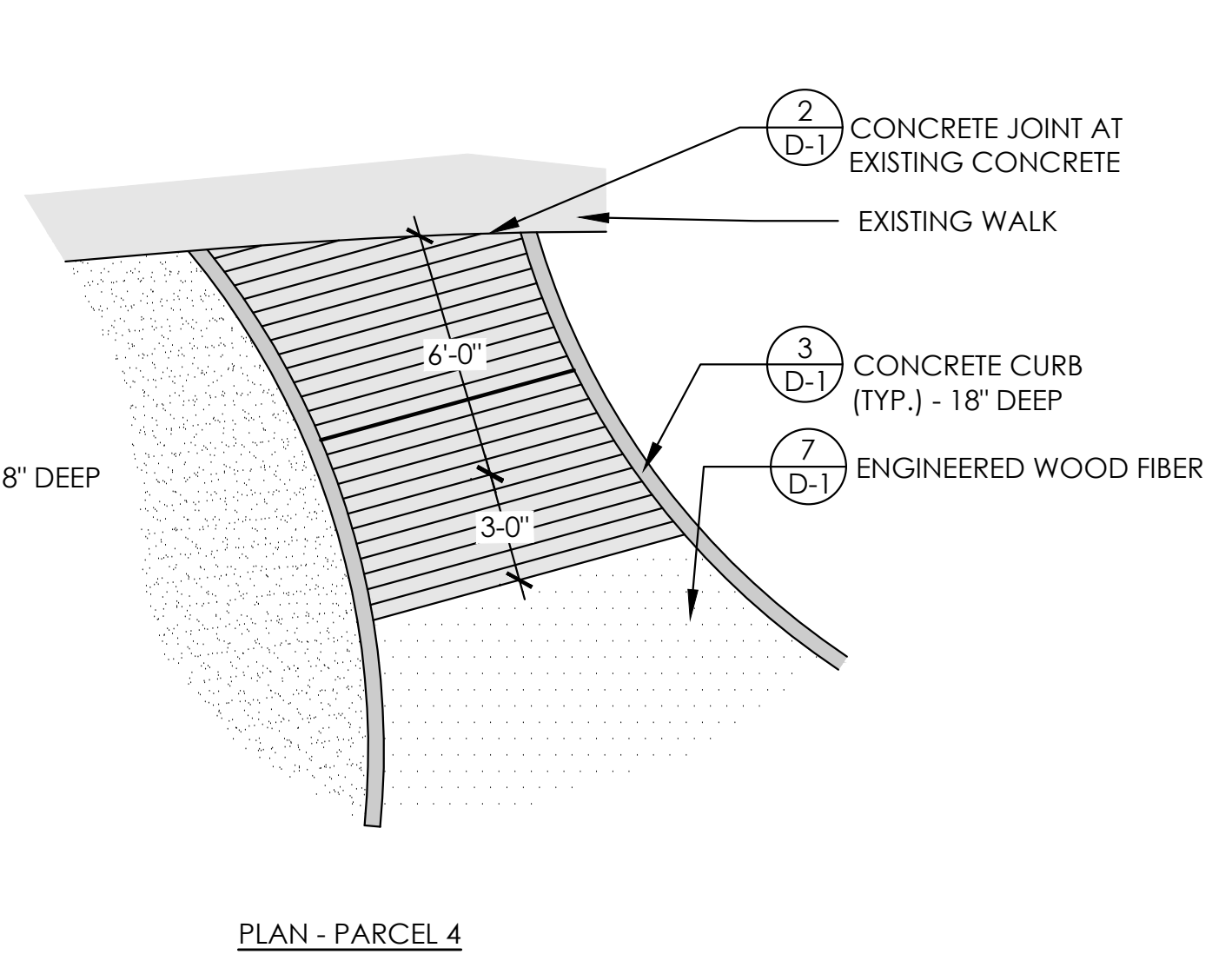
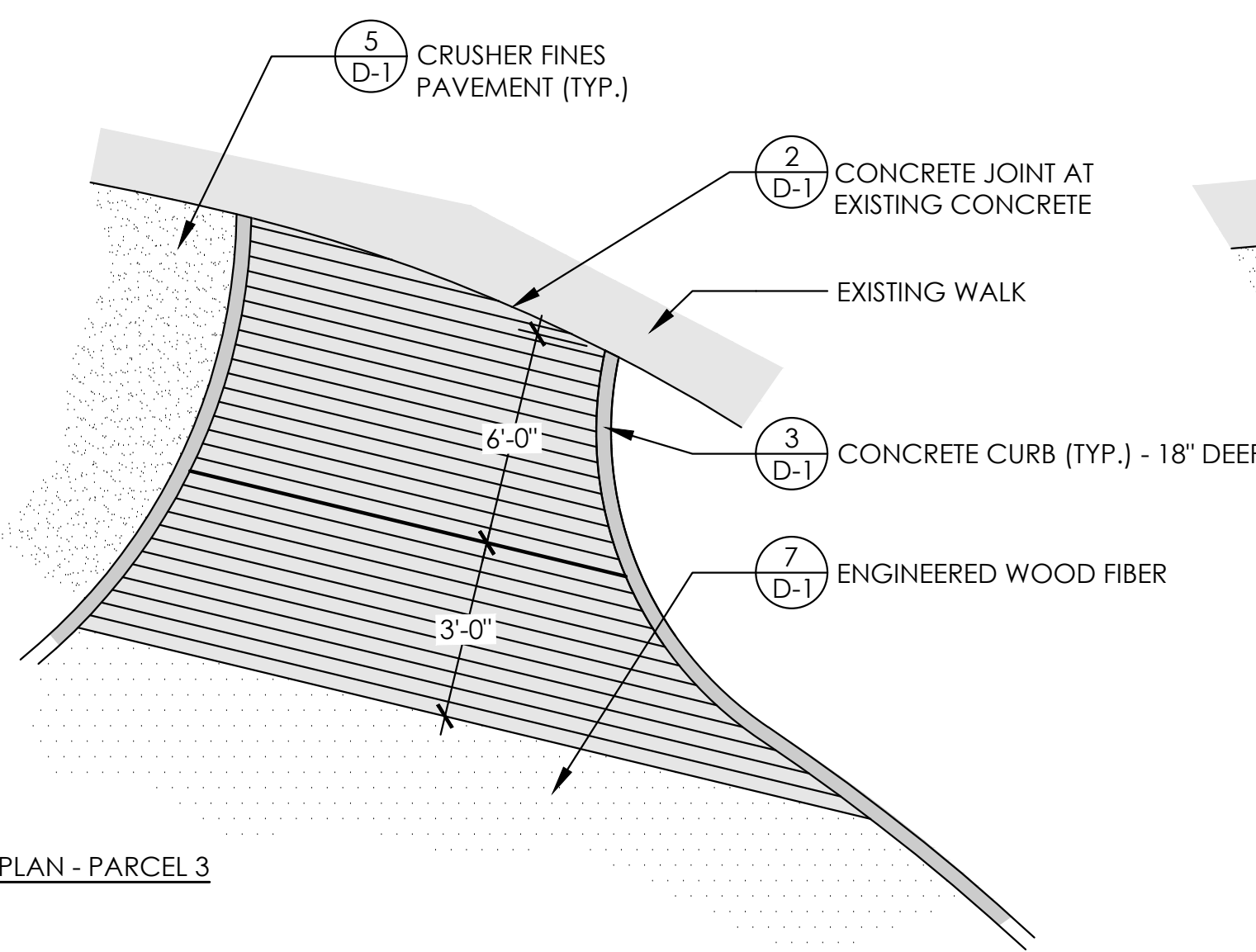


**7** ENGINEERED WOOD FIBER SECTION NTS



- NOTE:
1. DOWEL RAMP TO PAVEMENT WITH 12\"/>

**8** CONCRETE PLAYGROUND RAMP SECTION AND PLAN NTS



**9** INTERACTIVE BOULDER SECTION NTS

SUBMITTALS:  
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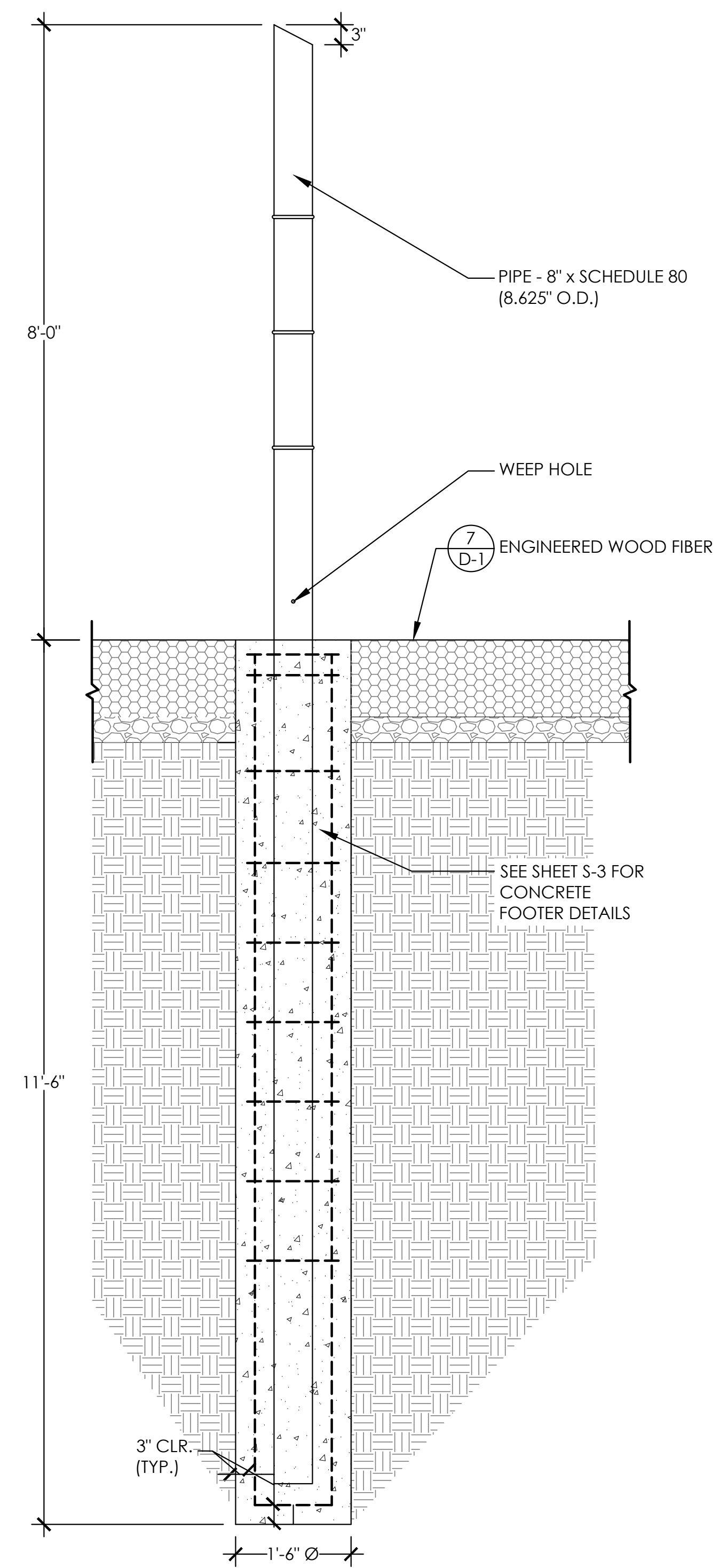
PROJECT # 2302 DRAWN BY: ACG DATE: 02.21.25 CHD BY: LMD

LESANNE M. DOMINGUEZ  
 925  
 Original Date of Licensure  
 05/06/2011  
 05-25  
 LICENSED STATE OF COLORADO  
 LICENSED LANDSCAPE ARCHITECT

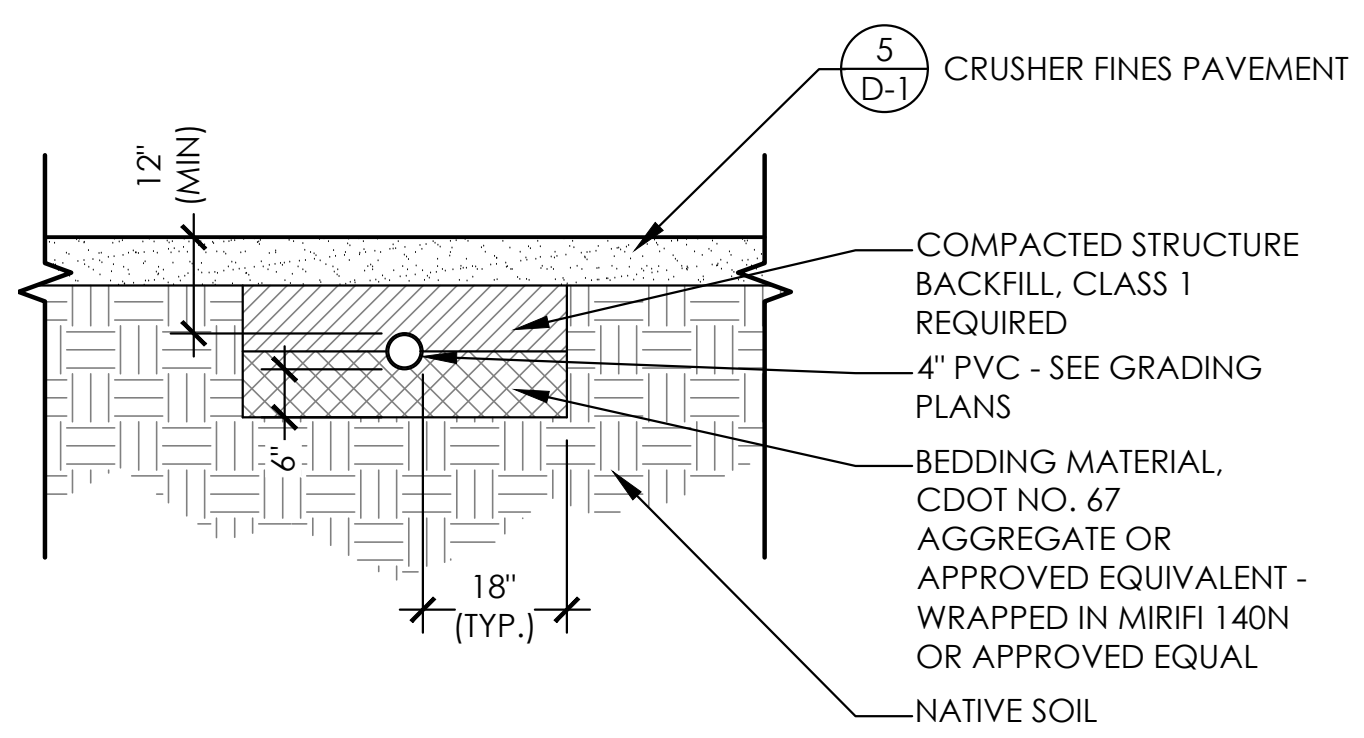
DETAILS  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
 D-1

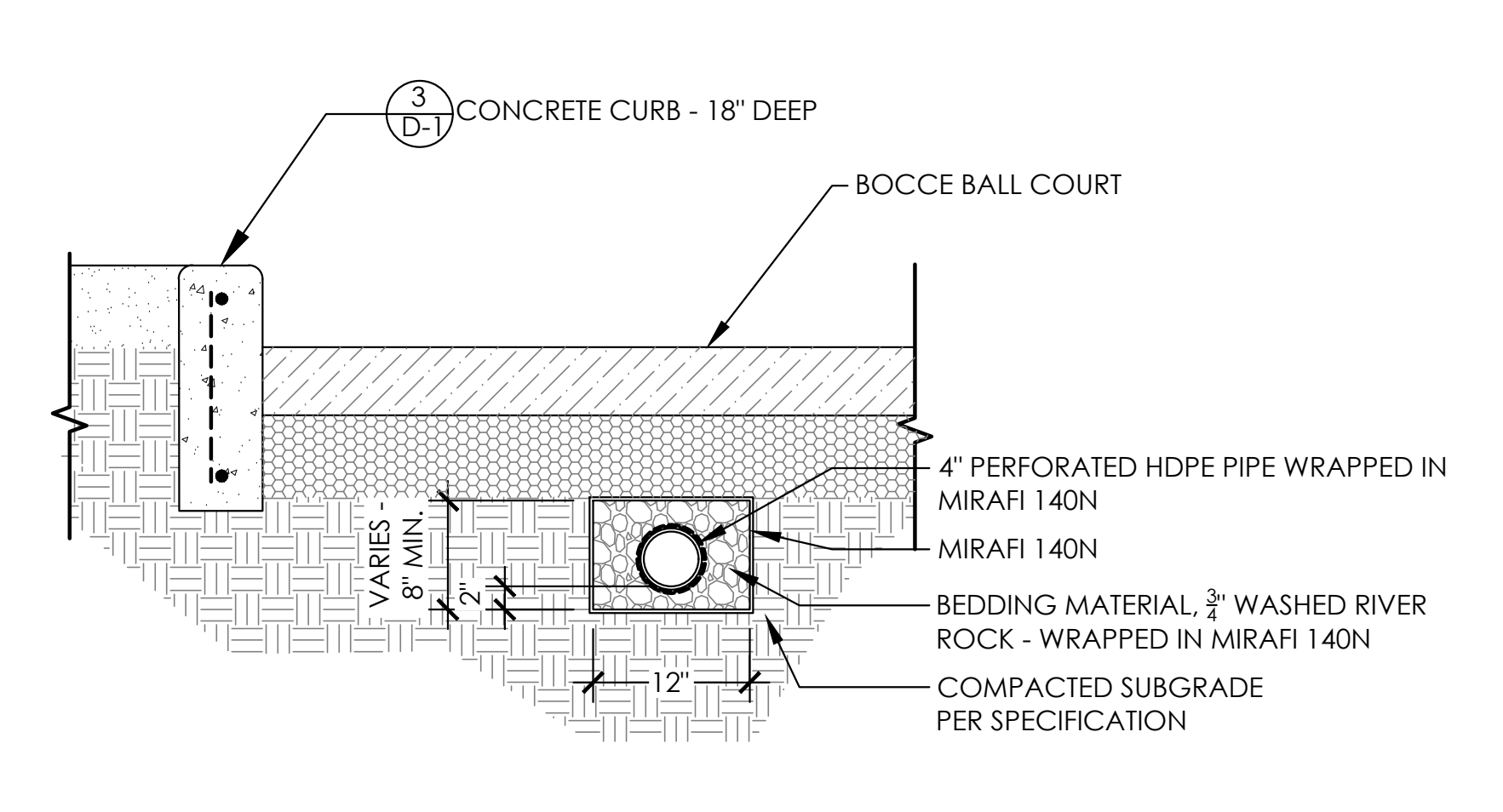




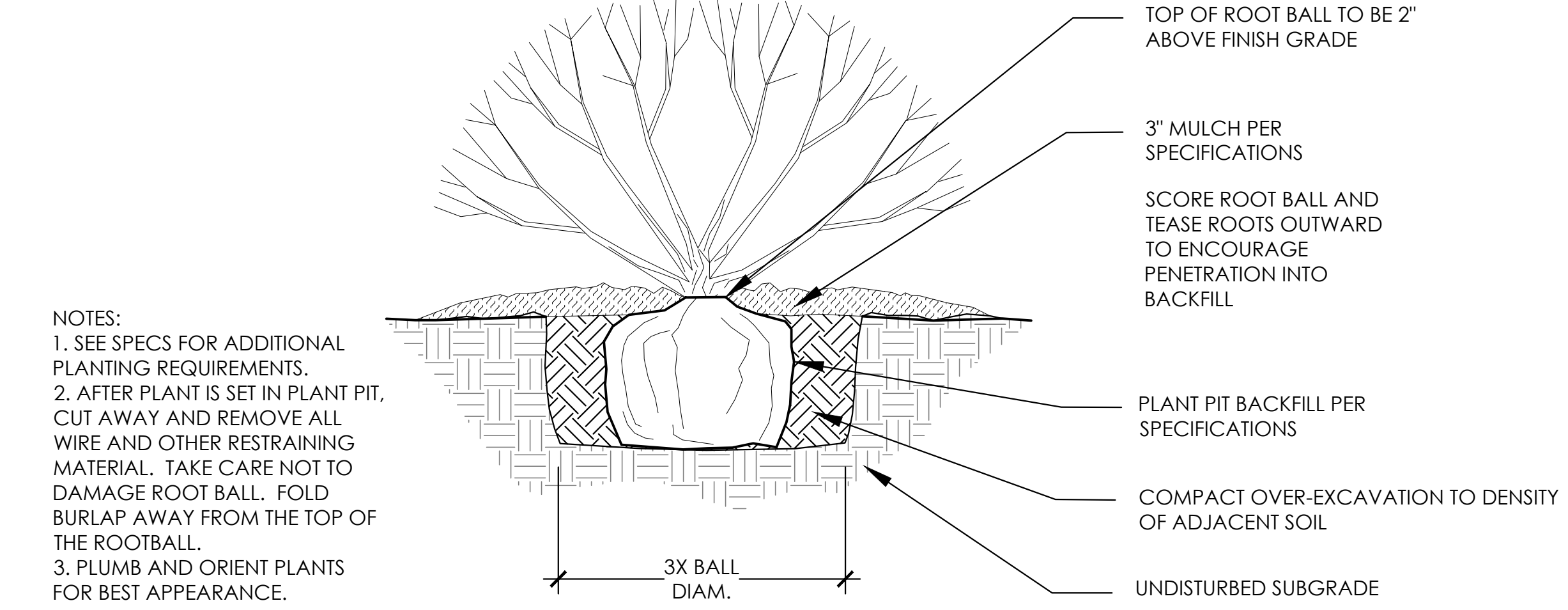
1 STEEL SLACKLINE POST SECTION NTS



4 DRAIN PIPE SECTION NTS

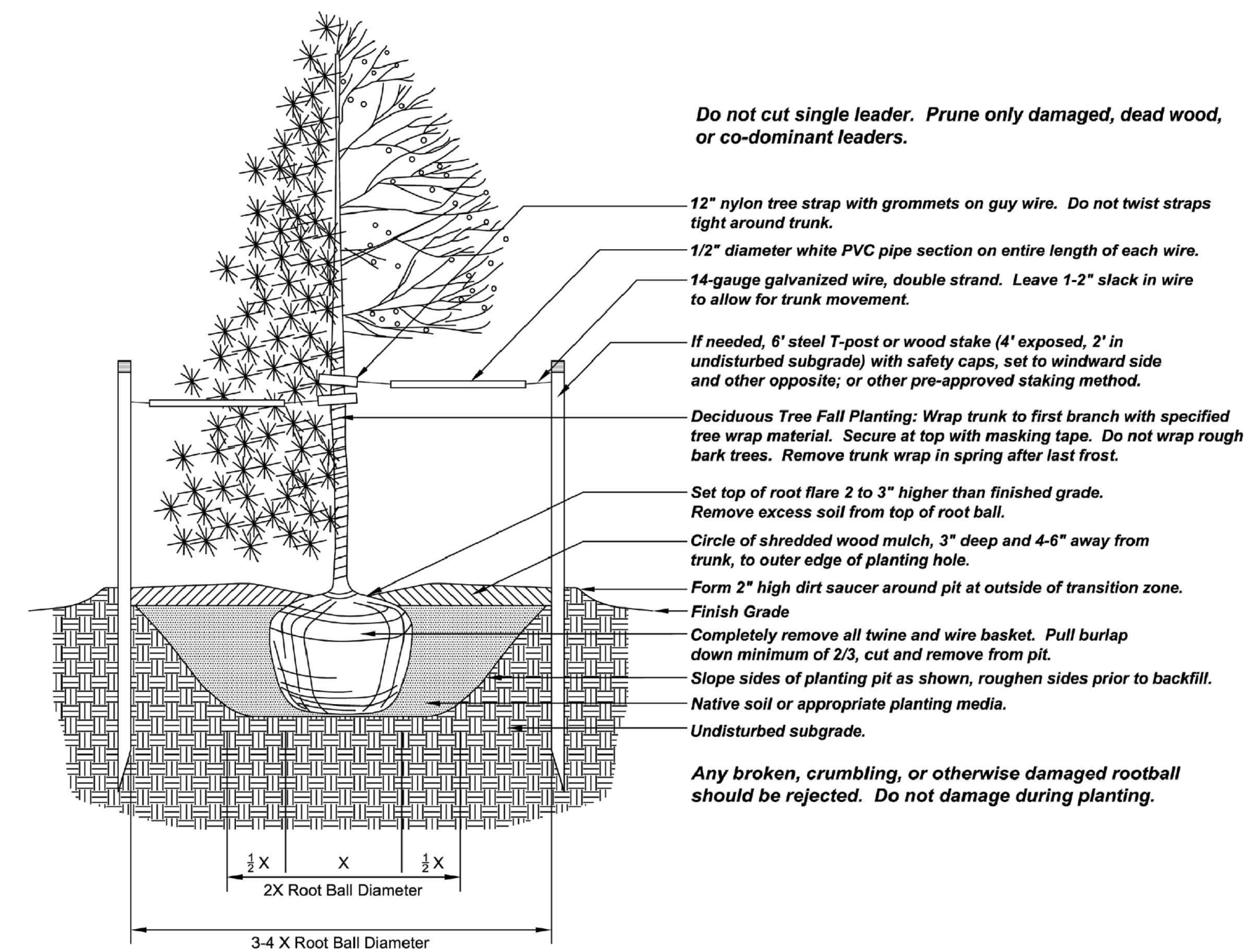


2 PERFORATED DRAIN PIPE SECTION NTS



3 SHRUB PLANTING SECTION NTS

NOTES:  
 1. SEE SPECS FOR ADDITIONAL PLANTING REQUIREMENTS.  
 2. AFTER PLANT IS SET IN PLANT PIT, CUT AWAY AND REMOVE ALL WIRE AND OTHER RESTRAINING MATERIAL. TAKE CARE NOT TO DAMAGE ROOT BALL. FOLD BURLAP AWAY FROM THE TOP OF THE ROOTBALL.  
 3. PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE.



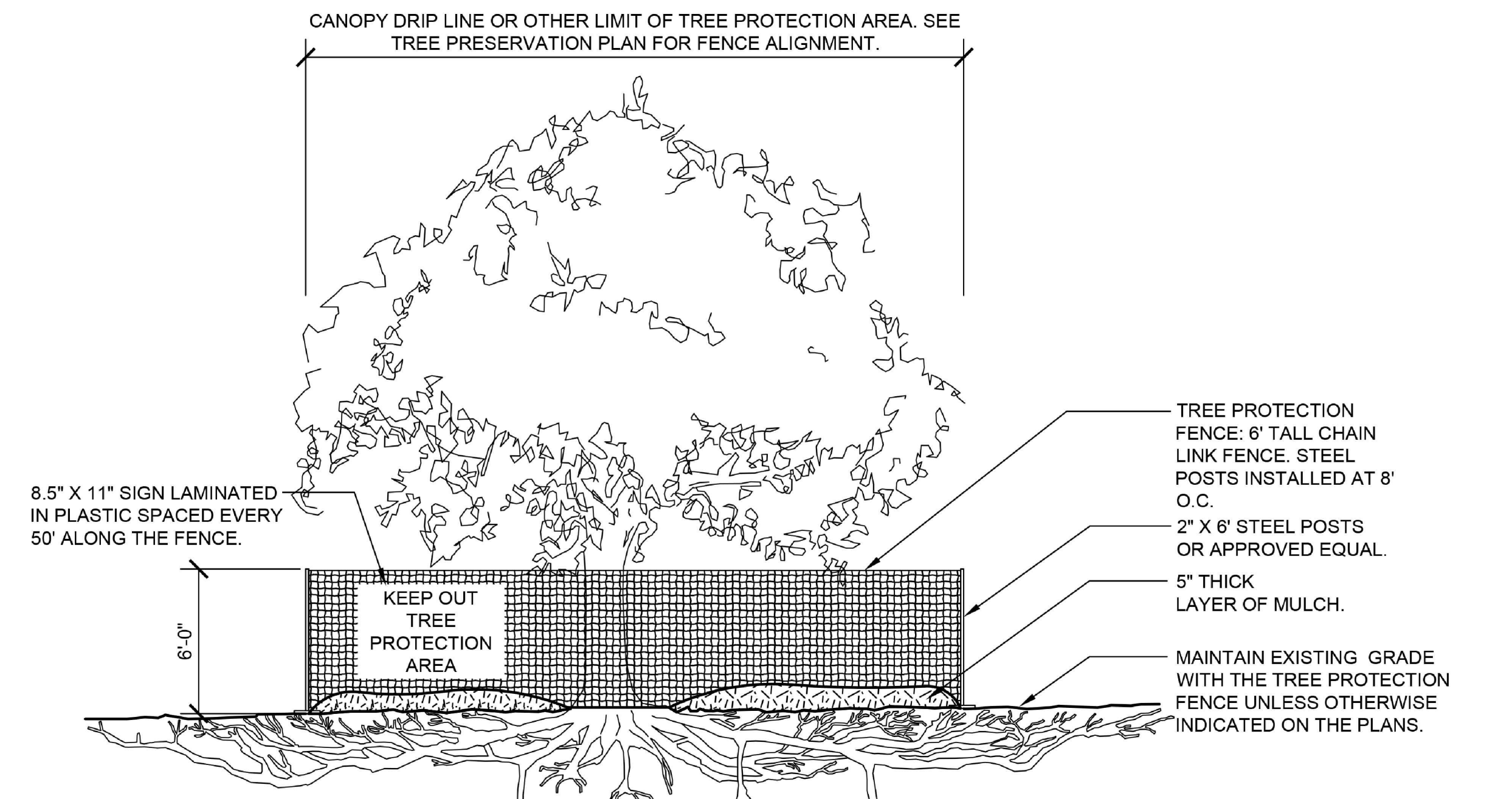
**Trees planted upon park land, public property, or within the Public Right of Way (PRW) are subject to the following restrictions:**

- An approved planting permit from the Office of the City Forester (OCF), regardless of approved plans, is required prior to planting.
- Administrative citations up to \$999 shall be issued for trees planted without an OCF issued permit.
- Only tree species approved by or listed on the OCF's approved street tree list shall be planted in the PRW.
- For a list of prohibited or suspended PRW trees, contact or visit the OCF website.
- If overhead utility wires exist in the PRW, only ornamental or trees maturing at 20 (twenty) feet maximum height shall be planted.
- Trees shall be centered in tree lawns and/or planting areas.
- Trees shall not be planted in tree lawns less than five feet wide unless authorized by the OCF.
- Where sidewalks are not present, trees shall be located as designated by Office of the City Forester.
- Planting in corner triangle formed by the first 30 (thirty) feet along the PRW in each direction from the corner is not permitted.
- Planting within 10 (ten) feet of alleys, driveways, or fire hydrants is not permitted.
- Planting within 20 (twenty) feet of stop signs is not permitted.
- Planting within 25 (twenty-five) feet of street lights is not permitted.
- Planting within five feet of water meters or pits is not permitted.
- Large shade trees shall be spaced 35 (thirty-five) feet o.c. and ornamental trees 25 (twenty-five) feet o.c. or as designated by OCF.
- Trees shall be pruned to maintain a clearance of 13'-6" over streets and alleys and 6'-6" over remaining portions of PRW, including sidewalk.

Prior to digging, the Utility Notification Center of Colorado shall be contacted at 811 to locate underground utilities.

5 TREE PLANTING SECTION NTS

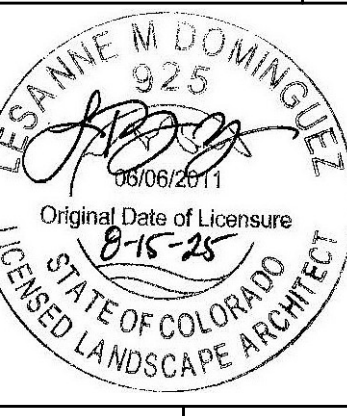
NOTES:  
 1. CONTRACTOR SHALL PROVIDE TREE PROTECTION FOR ALL CONSTRUCTION ACTIVITIES IN OR AROUND ANY ARVADA PARK OR RIGHT-OF-WAY LANDSCAPING.  
 2. FENCING SHALL BE SET UP AT THE CANOPY DRIP LINE PRIOR TO ANY WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.  
 3. PROTECTION REQUIREMENTS SHALL EXTEND TO NEIGHBORING TREES OVERHANGING THE SITE.  
 4. SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.  
 5. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.  
 6. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.  
 7. NO STORAGE OF MATERIAL, TOPSOIL, VEHICLES, OR EQUIPMENT SHALL BE PERMITTED WITHIN THE TREE PROTECTION ZONE.  
 8. IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO PROTECTED TREES DURING CONSTRUCTION.  
 10. SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.



6 TREE PROTECTION FENCING SECTION NTS

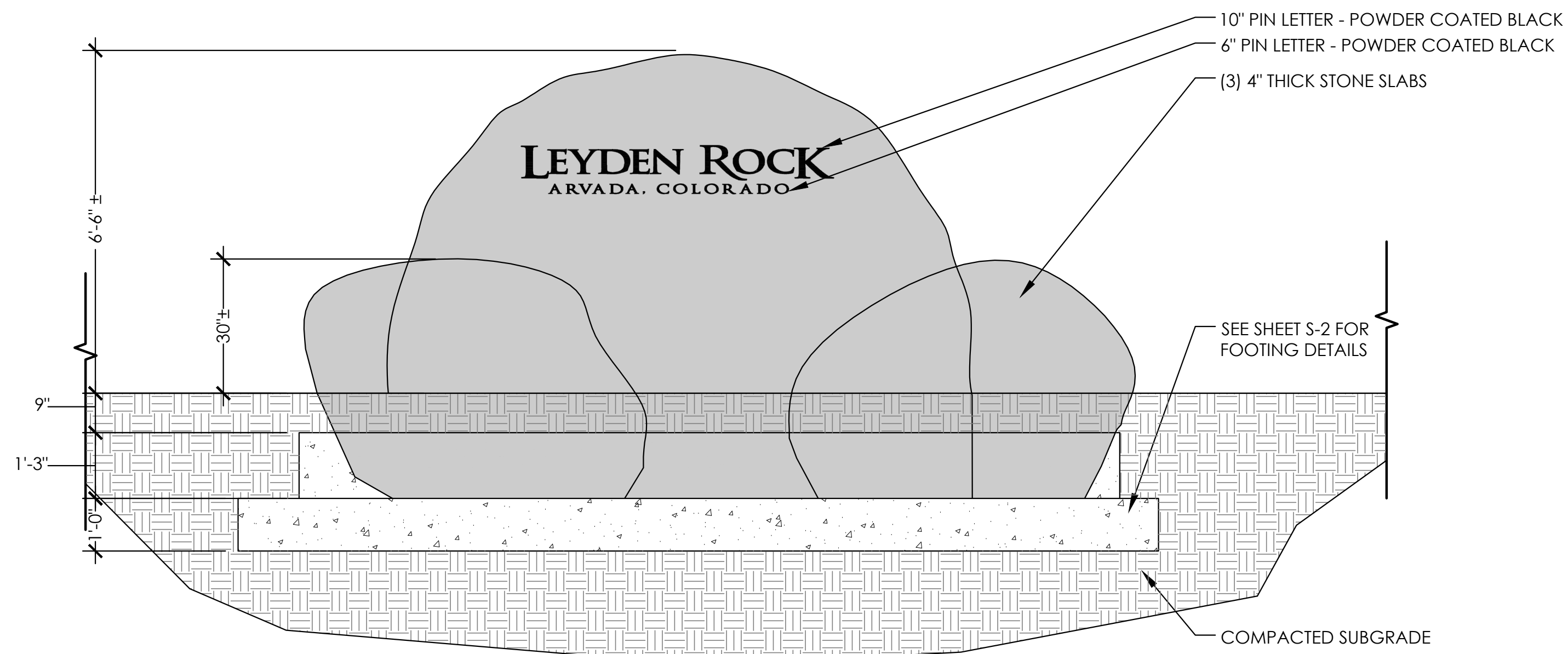
SUBMITTALS:  
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 5881 South Delaware Street  
 Littleton, Colorado 80127  
 303.948.0766 fax 948.0977  
 www.architerragroup.com  
 PROJECT # 2302 DRAWN BY: AGG DATE: 02/25/25 CHED BY: LMD



DETAILS  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
 D-3

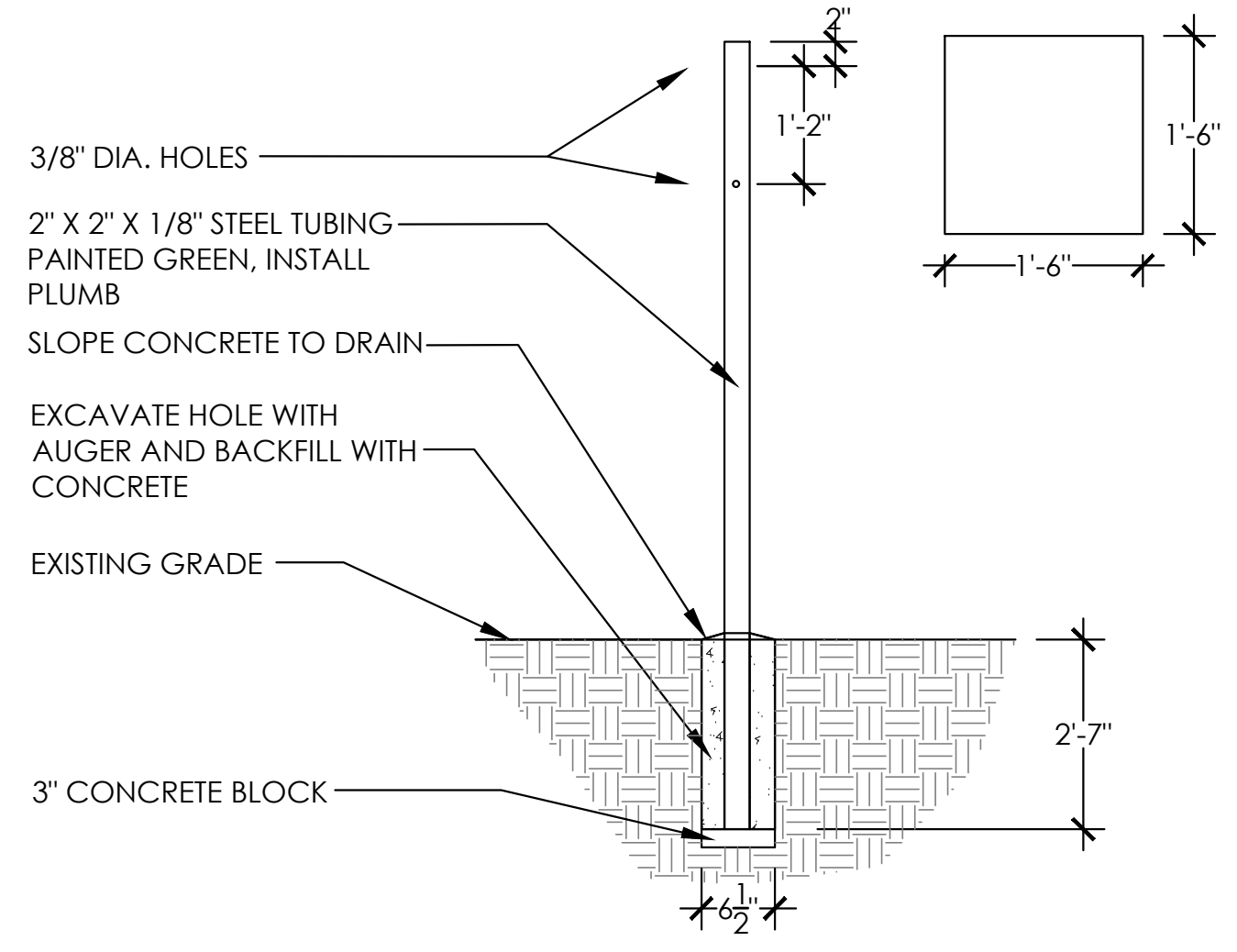


- NOTES:
1. FABRICATION ART FOR LETTERS PROVIDED BY OWNER
  2. AESTHETICS FOR THIS SIGN SHALL CLOSELY MATCH THE SIGN AT LEYDEN ROCK DR AND W 82 AVE.
  3. MONUMENT SIGN IS CONCEPTUAL. ACTUAL SIGN TO BE REVIEWED THROUGH SEPERATE PERMIT. SIGN PERMIT RESPONSIBILITY OF CONTRACTOR.

1 MONUMENT SIGN  
D-4 SECTION/ELEVATION

NTS

- NOTES:
1. FASTEN SIGN TO STEEL TUBING USING:  
(2) ROUND HEAD RIBBED NECK BOLTS (5/16"-18X2 1/2") - MFGR: LAWSON PRODUCTS INC. PART#: 97581 - MECHANICAL: SAE J429-GR.5 - DIMENSIONAL: ANSI B18.5  
(2) ANODIZED ALUMINUM TAMPER RESISTANT NUTS (5/16-18) - MFGR: LAWSON PRODUCTS INC. PART#: 97571
  2. ALL HARDWARE TO BE PAINTED BLACK
  3. INSTALL SIGN 3'-0" CLEAR FROM EDGE OF TRAIL PER MUTCD STANDARDS.
  4. AT SOME LOCATIONS, MULTIPLE SIGN PLAQUES FACING DIFFERENT DIRECTIONS WILL SHARE A SINGLE POST.
  5. TRAIL SIGNS TO BE MOUNTED ON THE POST SHOWN IN THIS DETAIL UNLESS OTHERWISE NOTED.
  6. GRAHPICS PROVIDED BY OWNER
  3. SIGN IS CONCEPTUAL. ACTUAL SIGN TO BE REVIEWED THROUGH SEPERATE PERMIT. SIGN PERMIT RESPONSIBILITY OF CONTRACTOR.



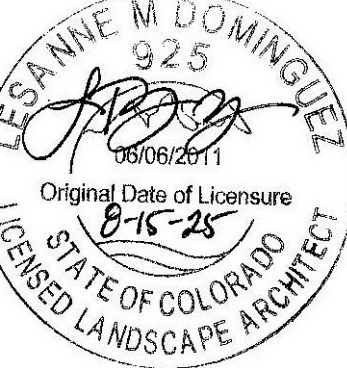
- SIGNS
- SLACKLINE SIGN
  - DISC GOLF SIGN

2 SIGN  
D-4 SECTION/ELEVATION

NTS

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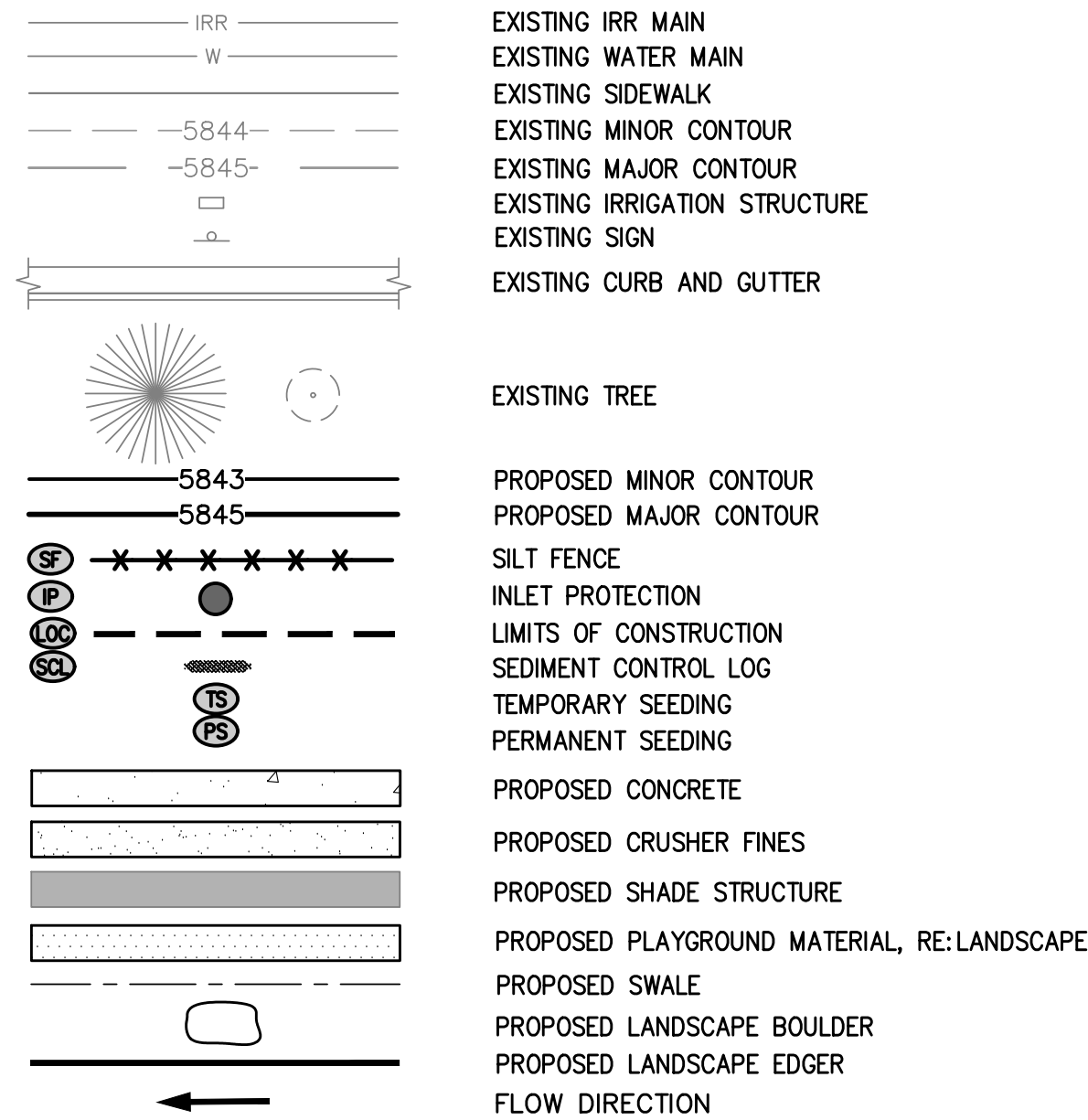
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DETAILS  
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
D-4

**LEGEND**



**LEYDEN ROCK  
EROSION CONTROL PLANS**

LOT 00E, BLOCK 003, LEYDEN ROCK SUB FLG NO 4 & 6  
SECTION 26 & 27, TOWNSHIP 2, RANGE 70 WEST, OF THE 6TH P.M.  
CITY OF ARVADA, JEFFERSON COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

**SHEET LIST TABLE**

SHEET NUMBER	SHEET TITLE
C100	COVER SHEET
C101	EROSION CONTROL PLAN - PARCELS 1-3
C102	EROSION CONTROL PLAN - PARCELS 4-6
C103	EROSION CONTROL DETAILS
C104	EROSION CONTROL DETAILS

**NOTES:**

- A TABLE OF QUANTITIES CAN BE FOUND ON ARCHITECTURAL COVER SHEET.
- A HORIZONTAL CONTROL PLAN CAN BE FOUND ON SHEETS DB-1, DB-6 AND W-2 THAT SHOWS ALL PUBLIC CONCRETE WORK PER CITY OF ARVADA DETAILS AND SPECIFICATIONS.
- ALL STANDARD CITY OF ARVADA NOTES CAN BE FOUND ON SHEET G-1.

**NOTE:**

TOTAL AREA OF DISTURBANCE = 42,000 SF (0.96 ACRES)

THE CITY OF ARVADA IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN OR DIMENSIONS AND ELEVATIONS ON THE PLANS. THE CITY OF ARVADA'S REVIEW IS FOR GENERAL COMPLIANCE WITH THE CITY OF ARVADA "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS". THE CITY OF ARVADA, THROUGH THE ACCEPTANCE OF THE CONSTRUCTION PLAN OR DRAINAGE REPORT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THE CONSTRUCTION PLAN OR DRAINAGE REPORT. THE CITY DOES NOT ACCEPT LIABILITY FOR FACILITIES DESIGNED BY OTHERS

**CONTACTS:**

**OWNER:**  
COMMUNITY MANAGER, LEYDEN ROCK METROPOLITAN DISTRICT  
PO BOX 370390  
DENVER, CO 80237  
**CONTACT:** KATIE CALL  
**EMAIL:** KATIE.CALL@ADVANCEHOA.CO  
**PHONE:** 303-482-2213 EXT. 360

**LANDSCAPE ARCHITECT:**  
ARCHITERRA GROUP  
5881 south deframe street  
little ton, colorado 80127  
303.948.0766 fax.948.0977  
www.architerra group.com

**ENGINEER:**  
ELEVATION CONSULTING GROUP, LTD.  
PO BOX 280869  
LAKEWOOD, CO 80226  
**CONTACT:** BRAD DISNER, PE  
**EMAIL:** BDISNER@ELEVATIONCIVL.COM  
**PHONE:** 303-913-3543

**BASIS OF BEARINGS:**

BEARINGS ARE CONGRUENT WITH THE BEARINGS SHOWN ON THE LEYDEN ROCK SUBDIVISION FILING NO. 1 PLAT AND ARE BASED ON THE ASSUMPTION THAT THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 27 BEARS N89°44'54"W AND IS MONUMENTED AT THE WEST END BY A 3-1/4" ALUMINUM CAP 1.5 36561 - 2016' AND AT THE EAST END BY A 3-1/4" ALUMINUM CAP PLS 13258 - 1997'.

**BENCHMARK:**

VERTICAL INFORMATION IS BASED ON BPS SURVEY CONTROL POINT 11, BEING A CUT 'X' ON CONCRETE PAD APPROXIMATELY 50' SOUTHWEST OF LEYDEN ROCK PUMP STATION 18035-A ON THE NORTH SIDE OF W 87<sup>TH</sup> DR. ELEV=5946.09 (NAVD88)

**EROSION CONTROL NOTES:**

- THE CITY OF ARVADA STORMWATER INSPECTOR MUST BE MET ON SITE AND PROVIDED WITH A STORMWATER MANAGEMENT PLAN AFTER INSTALLATION OF TEMPORARY BEST MANAGEMENT PRACTICES (BMPs), BUT BEFORE CONSTRUCTION OR GRADING BEGINS.
- THERE SHALL BE NO EARTH-DISTURBING ACTIVITY OUTSIDE THE LIMITS DESIGNATED IN THE ACCEPTED PLANS.
- ALL REQUIRED PERIMETER SILT AND CONSTRUCTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY (STOCKPILING, STRIPPING, GRADING, ETC.). ALL OTHER REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE APPROPRIATE TIME IN THE CONSTRUCTION SEQUENCE AS INDICATED IN THE APPROVED PROJECT SCHEDULE, CONSTRUCTION PLANS, AND STORMWATER MANAGEMENT PLAN.
- AT ALL TIMES DURING CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON-SITE EROSION INCLUDING KEEPING THE PROPERTY SUFFICIENTLY WATERED SO AS TO MINIMIZE WINDBLOWN SEDIMENT. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL FACILITIES SHOWN HEREIN.
- PRE-DISTURBANCE VEGETATION SHALL BE PROTECTED AND RETAINED WHEREVER POSSIBLE. REMOVAL OR DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO THE AREA(S) REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATIONS, AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- ALL SOILS EXPOSED DURING LAND DISTURBING ACTIVITY (STRIPPING, GRADING, UTILITY INSTALLATIONS, STOCKPILING, FILLING, ETC.) SHALL BE KEPT IN A ROUGHENED CONDITION BY RIPPING OR DISKING ALONG LAND CONTOURS UNTIL MULCH, VEGETATION, OR OTHER PERMANENT EROSION CONTROL BMPs ARE INSTALLED. NO DISTURBED AREAS, EXCEPT THOSE WITHIN THE PROJECT STREET RIGHTS-OF-WAY, SHALL REMAIN EXPOSED FOR MORE THAN THIRTY (30) DAYS BEFORE TEMPORARY OR PERMANENT EROSION CONTROL (E.G. SEED/MULCH, LANDSCAPING, ETC.) IS INSTALLED, UNLESS OTHERWISE APPROVED BY THE CITY OF ARVADA STORMWATER INSPECTOR.
- IN ORDER TO MINIMIZE EROSION POTENTIAL, ALL TEMPORARY (STRUCTURAL) EROSION CONTROL MEASURES SHALL BE INSPECTED AT A MINIMUM OF ONCE EVERY FOURTEEN (14) DAYS AND AFTER EACH SIGNIFICANT STORM EVENT AND REPAIRED OR RECONSTRUCTED AS NECESSARY IN ORDER TO ENSURE THEIR CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
- REMAIN IN PLACE UNTIL SUCH TIME AS ALL THE SURROUNDING DISTURBED AREAS ARE SUFFICIENTLY STABILIZED. THE CITY OF ARVADA STORMWATER INSPECTOR MUST BE NOTIFIED PRIOR TO REMOVAL.
- BE REMOVED WHEN THEY ARE NO LONGER FUNCTIONAL OR AFTER THE SITE HAS BEEN SUFFICIENTLY STABILIZED AS DETERMINED BY THE STORMWATER INSPECTOR. THE CITY OF ARVADA STORMWATER INSPECTOR MUST BE NOTIFIED PRIOR TO REMOVAL.
- WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEAN UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND OTHER PUBLIC FACILITIES.
- THE CONTRACTOR SHALL IMMEDIATELY CLEAN UP ANY CONSTRUCTION MATERIALS INADVERTENTLY DEPOSITED ON EXISTING STREETS, SIDEWALKS, OR OTHER PUBLIC RIGHTS OF WAY, AND MAKE SURE STREETS AND WALKWAYS ARE CLEANED AT THE END OF EACH WORKING DAY.
- ALL SOIL STOCKPILES SHALL NOT BE PLACED WITHIN ONE HUNDRED (100) FEET OF A DRAINAGEWAY, WHERE POSSIBLE, AND SHALL BE PROTECTED FROM SEDIMENT TRANSPORT BY APPROPRIATE EROSION CONTROL METHODS. ANY SOIL STOCKPILE THAT WILL BE DORMANT FOR OVER THIRTY (30) DAYS SHALL BE SEEDED.
- THE STORMWATER VOLUME CAPACITY OF DETENTION PONDS WILL BE RESTORED AND STORM SEWER LINES WILL BE CLEANED UPON COMPLETION OF THE PROJECT AND BEFORE TURNING THE MAINTENANCE OVER TO THE PROPERTY OWNER OR HOMEOWNERS ASSOCIATION (HOA).
- CITY ORDINANCE REQUIREMENTS MAKE IT UNLAWFUL TO DISCHARGE OR ALLOW THE DISCHARGE OF ANY POLLUTANT OR CONTAMINATED WATER FROM CONSTRUCTION SITES. POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, OIL AND GAS PRODUCTS, LITTER, AND SANITARY WASTE. THE DEVELOPER SHALL AT ALL TIMES TAKE WHATEVER MEASURES ARE NECESSARY TO ASSURE THE PROPER CONTAINMENT AND DISPOSAL OF POLLUTANTS ON THE SITE IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- A DESIGNATED AREA SHALL BE PROVIDED ON SITE FOR CONCRETE TRUCK CHUTE WASHOUT. THE AREA SHALL BE CONSTRUCTED SO AS TO CONTAIN WASHOUT MATERIAL AND LOCATED AT LEAST FIFTY (50) FEET AWAY FROM ANY WATERWAY DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION ACTIVITIES THE CONCRETE WASHOUT MATERIAL WILL BE REMOVED AND PROPERLY DISPOSED OF PRIOR TO THE AREA BEING RESTORED.
- MASONRY ACTIVITIES WILL BE CONTAINED WITH APPROPRIATE LOT-SPECIFIC BMPs, SUCH AS STOCKPILE PERIMETER CONTROL AND BERMED WASHOUT PITS. ALL WASTE PRODUCTS FROM MASONRY ACTIVITIES WILL BE REMOVED AND DISPOSED OF PROPERLY.
- TO ENSURE THAT SEDIMENT DOES NOT MOVE OFF OF INDIVIDUAL LOTS SEDIMENT/EROSION CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED AT ONE OR MORE OF THE FOLLOWING LOCATIONS UNTIL THE LOTS ARE LANDSCAPED.
  - BELOW ALL GUTTER DOWNSPOUTS.
  - OUT TO DRAINAGE SWALES.
  - ALONG LOT PERIMETER.
  - OTHER LOCATIONS, IF NEEDED.
- A VEHICLE TRACKING PAD SHALL BE INSTALLED WHEREVER IT IS NECESSARY FOR CONSTRUCTION EQUIPMENT INCLUDING BUT NOT LIMITED TO PERSONAL VEHICLES EXITING EXISTING UNPAVED AREAS ONTO ROADWAYS. NO EARTHEN MATERIALS, I.E., STONE, DIRT, ETC., SHALL BE PLACED IN THE CURB & GUTTER OR ROADWAY AS A RAMP TO ACCESS TEMPORARY STOCKPILES, CONSTRUCTION MATERIALS AND/OR BUILDING SITES.
- CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE DEVELOPER SHALL IMPLEMENT WHATEVER MEASURES ARE DETERMINED NECESSARY, AS DIRECTED BY THE CITY OF ARVADA.

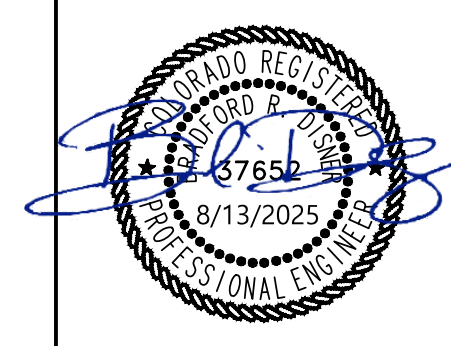


Know what's below.  
Call before you dig.

SUBMITTALS:  
1. ALL CITY SUBMITTALS 10.18.2024  
2. ALL CO SUBMITTALS 02.27.2025  
3. ALL CO SUBMITTALS 06.17.2025  
ISSUED FOR CONSTRUCTION  
02-04-2024

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little ton, colorado 80127  
303.948.0766 fax.948.0977  
www.architerra group.com

**ELEVATION CONSULTING**  
PROJECT #:  
DRAWN BY: BDISNER  
DATE: 8/13/2025  
CHECKED BY: BDISNER



**COVER SHEET**

LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
**C100**

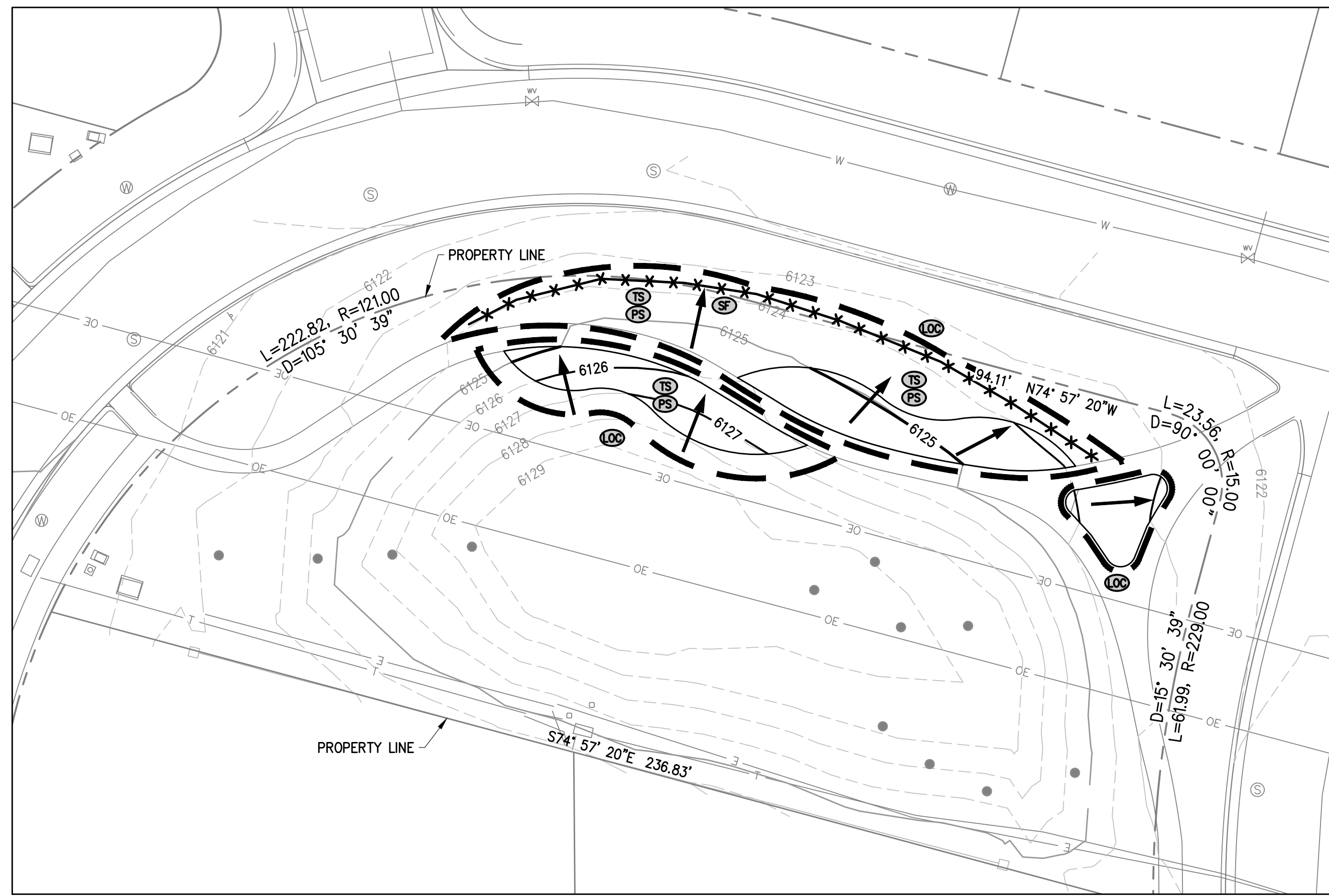


PE SIGNATURE CERTIFICATION BLOCK

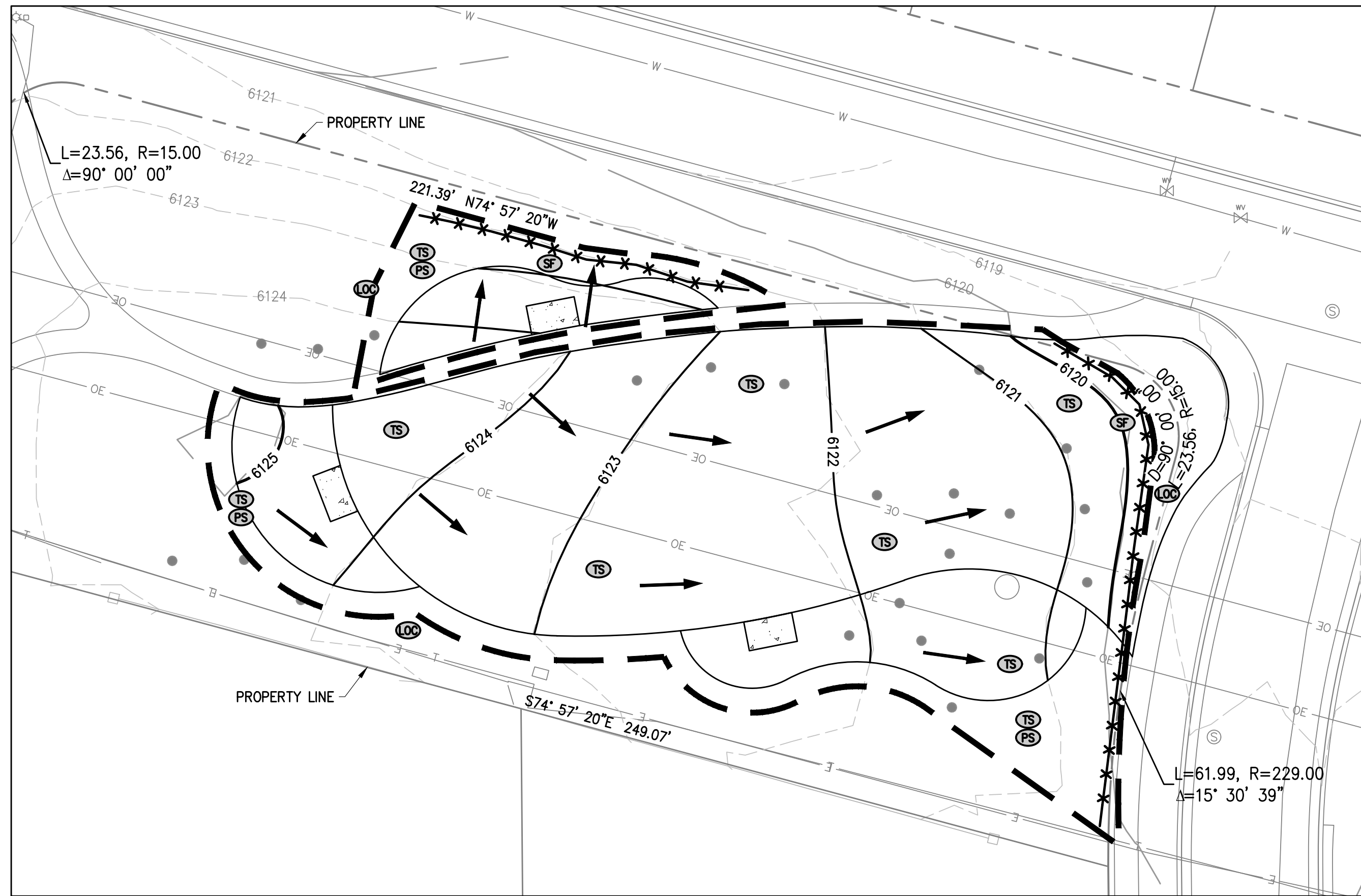
THESE CONSTRUCTION PLANS FOR LEYDEN ROCK WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ARVADA "ENGINEERING CODE OF STANDARDS AND SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF PUBLIC IMPROVEMENTS

*Brad Disner*

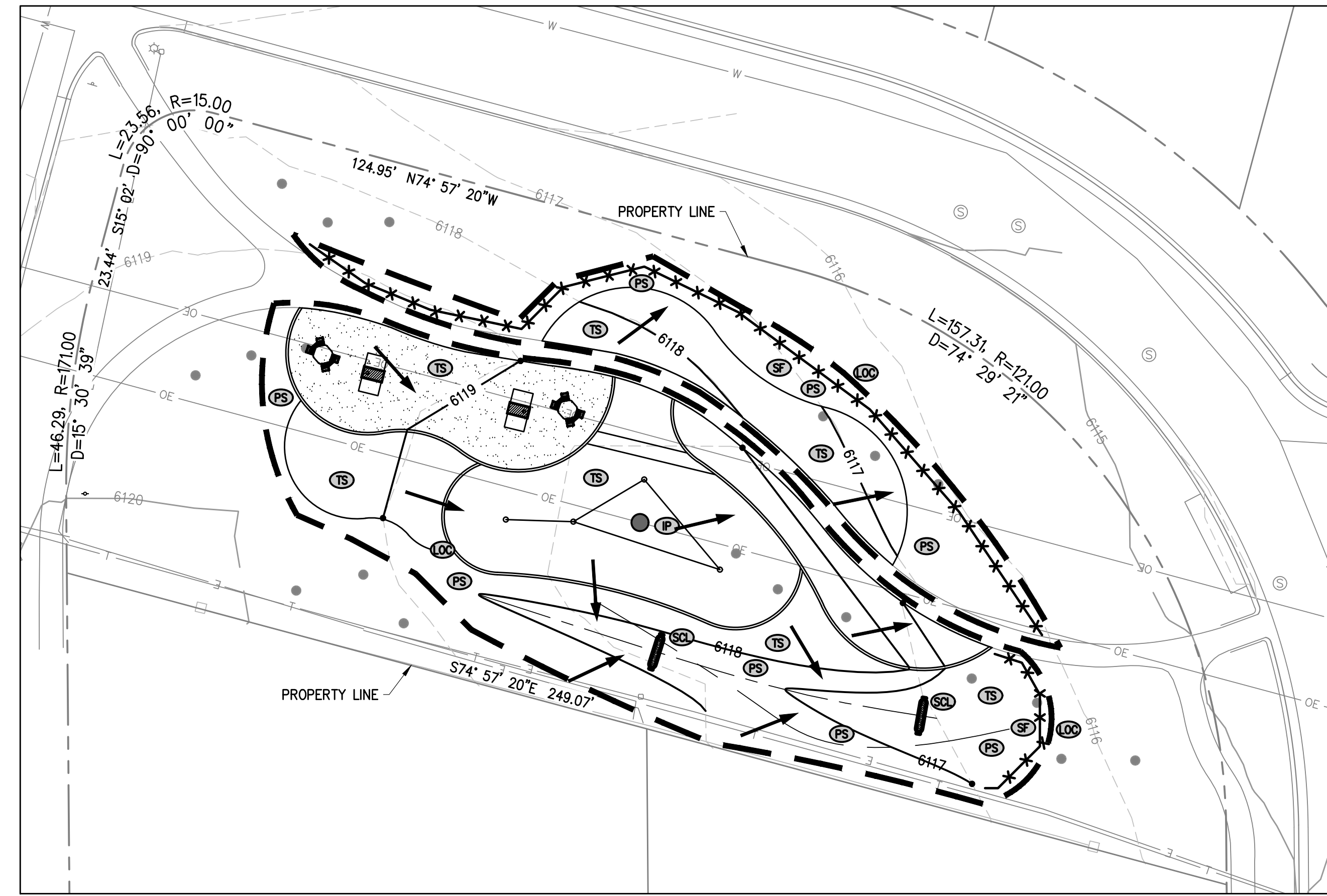
BRAD DISNER, PE  
ELEVATION CONSULTING GROUP, LTD.



PARCEL 1



PARCEL 2

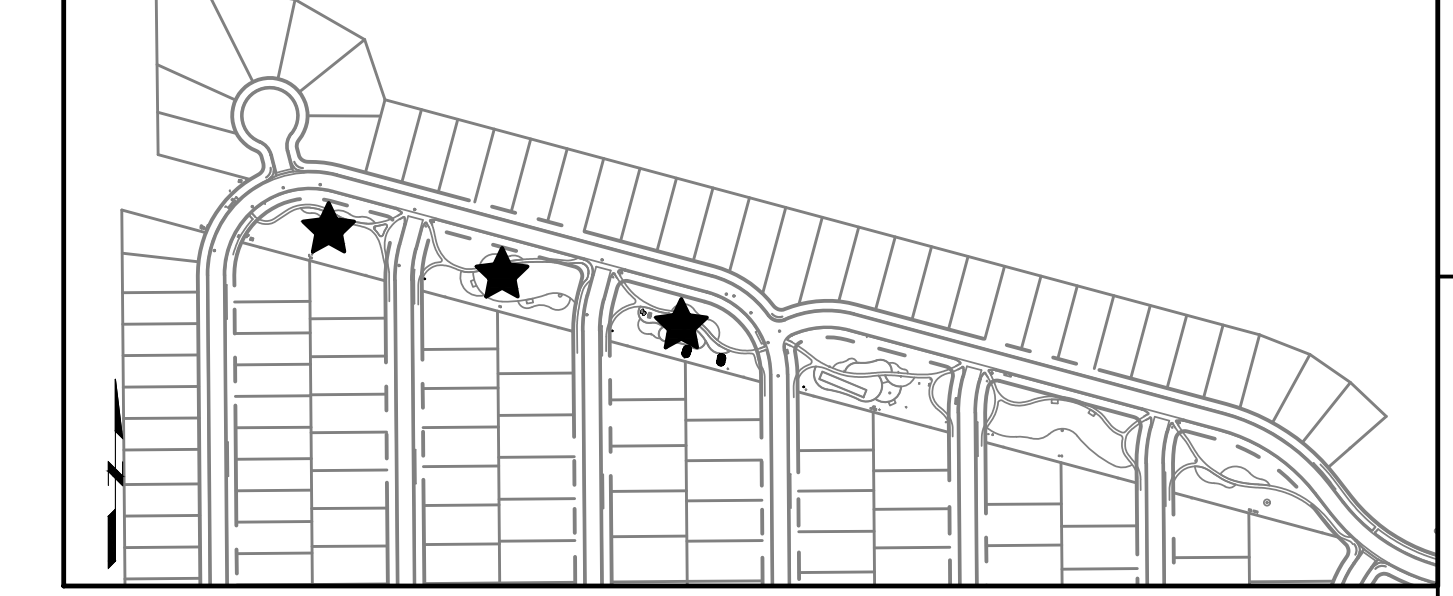


PARCEL 3

**NOTES:**

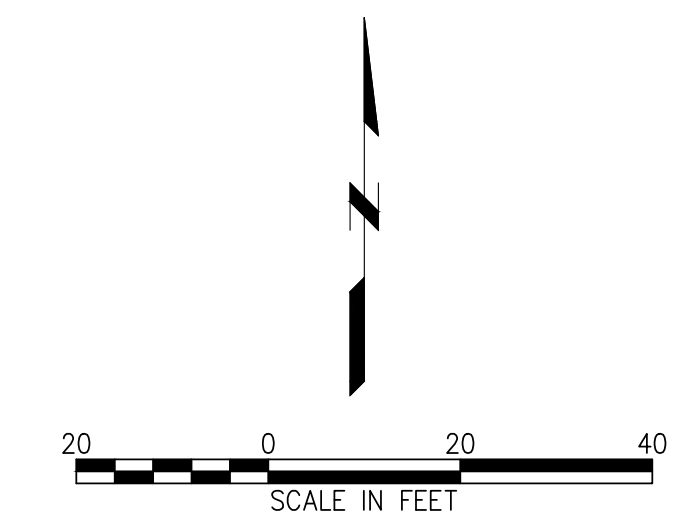
1. REFER TO LANDSCAPE PLANS FOR LANDSCAPING IMPROVEMENTS.
2. EXISTING UTILITIES SHOWN ON THIS PLAN MAY NOT BE COMPLETE. CONTRACTOR TO FIELD LOCATE AND POTHOLE ALL UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
3. REFER TO SHEET C100 FOR ADDITIONAL EROSION CONTROL NOTES.
4. REFER TO MILE HIGH FLOOD DISTRICT CRITERIA MANUAL VOLUME 3 FOR ADDITIONAL EROSION CONTROL STANDARD DETAILS AND NOTES.
5. CONTRACTOR TO PROVIDE VEHICLE TRACKING CONTROL, STABILIZED STAGING AREA, AND CONCRETE WASHOUT, IN LOCATIONS TO BE DESIGNATED BY CONTRACTOR (IF NECESSARY)
6. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL MEASURES TO BE IMPLEMENTED AS NECESSARY.
7. CONTRACTOR SHALL PROTECT ALL EXISTING INLETS AND STORM DRAINAGE INFRASTRUCTURE FROM SEDIMENT AT ALL TIMES.
8. PERMANENT SEEDING IS TO BE PLACED AS A FINAL STABILIZATION MEASURE IN ALL AREAS NOT DESIGNATED AS PAVED, PLAYGROUND OR LANDSCAPED ON THE LANDSCAPE PLANS.
9. REFER TO SHEET C103 & C104 FOR BMP DETAILS AND NOTES.
10. REFER TO SHEET C100 FOR EROSION CONTROL LEGEND.
11. TOTAL AREA OF DISTURBANCE = 42,000 SF (0.96 ACRES)

**KEY MAP**



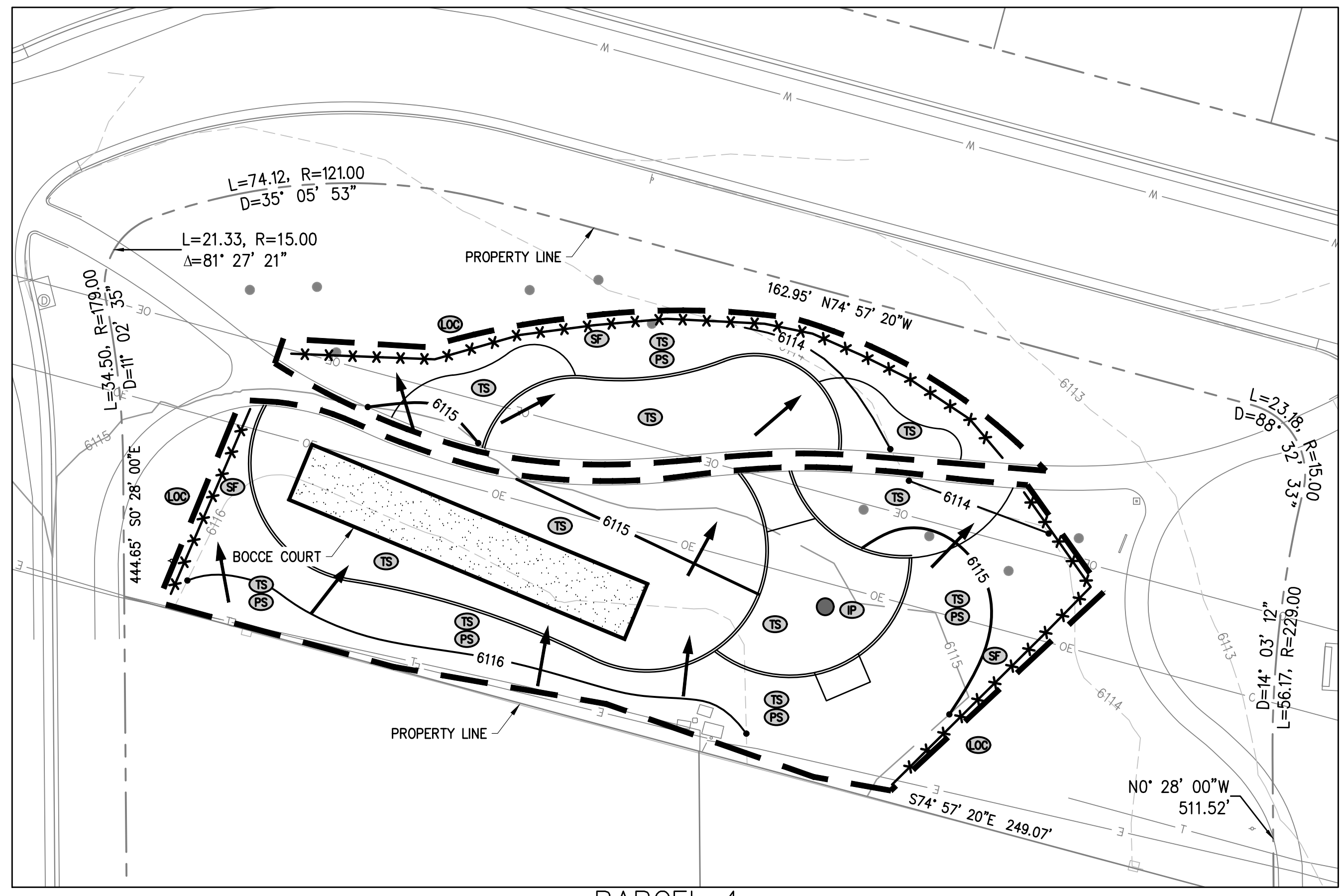
SUBMITTALS:  
 1. ILLINOIS CITY SUBMITTAL 10.18.2024  
 2. ILLINOIS CITY SUBMITTAL 02.21.2025  
 3. ILLINOIS CITY SUBMITTAL 06.17.2025  
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 PROJECT # : \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ DATE: 8/13/25 CHKD BY: BED

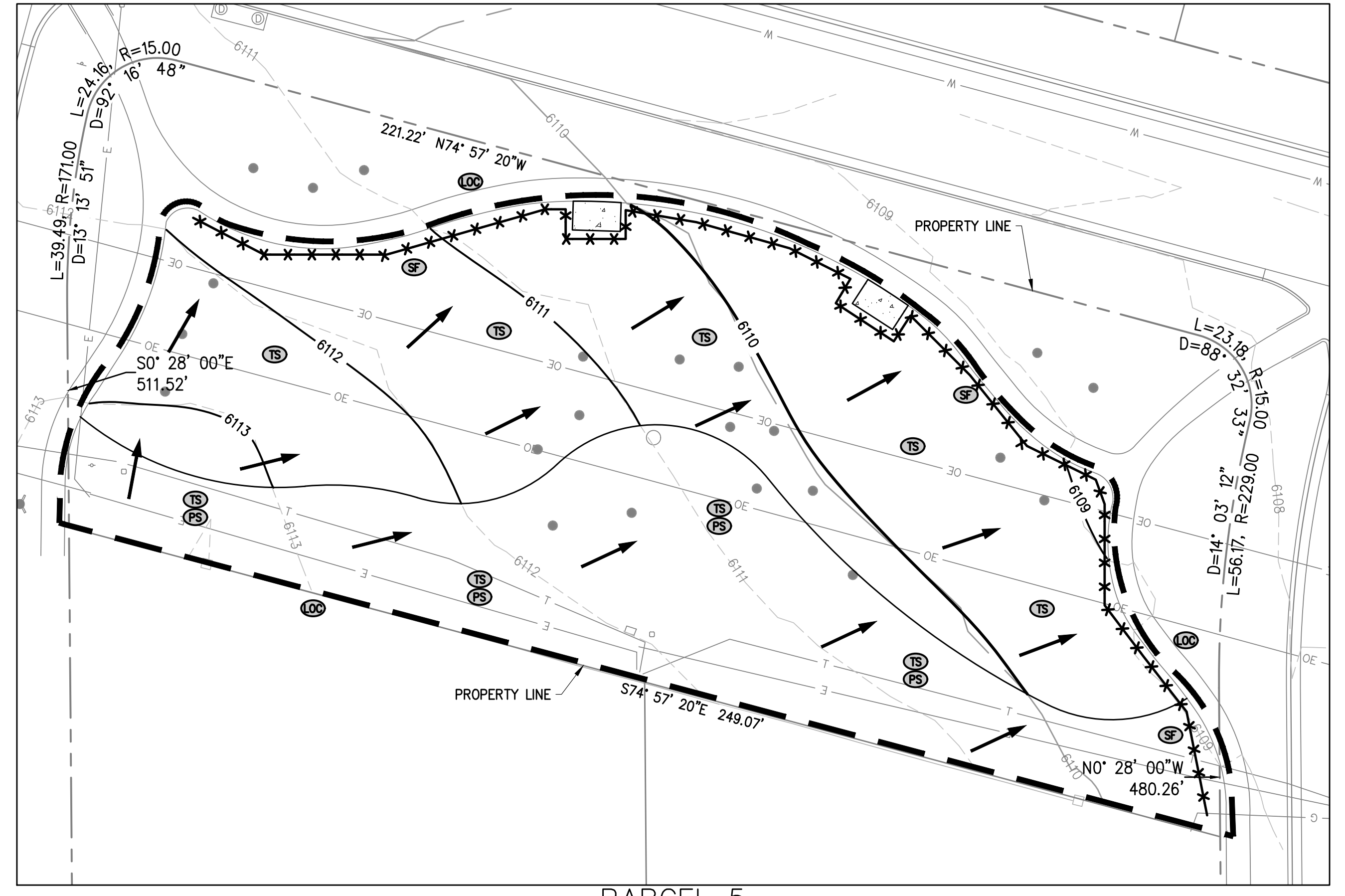


**EROSION CONTROL PLAN - PARCELS 1-3**  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

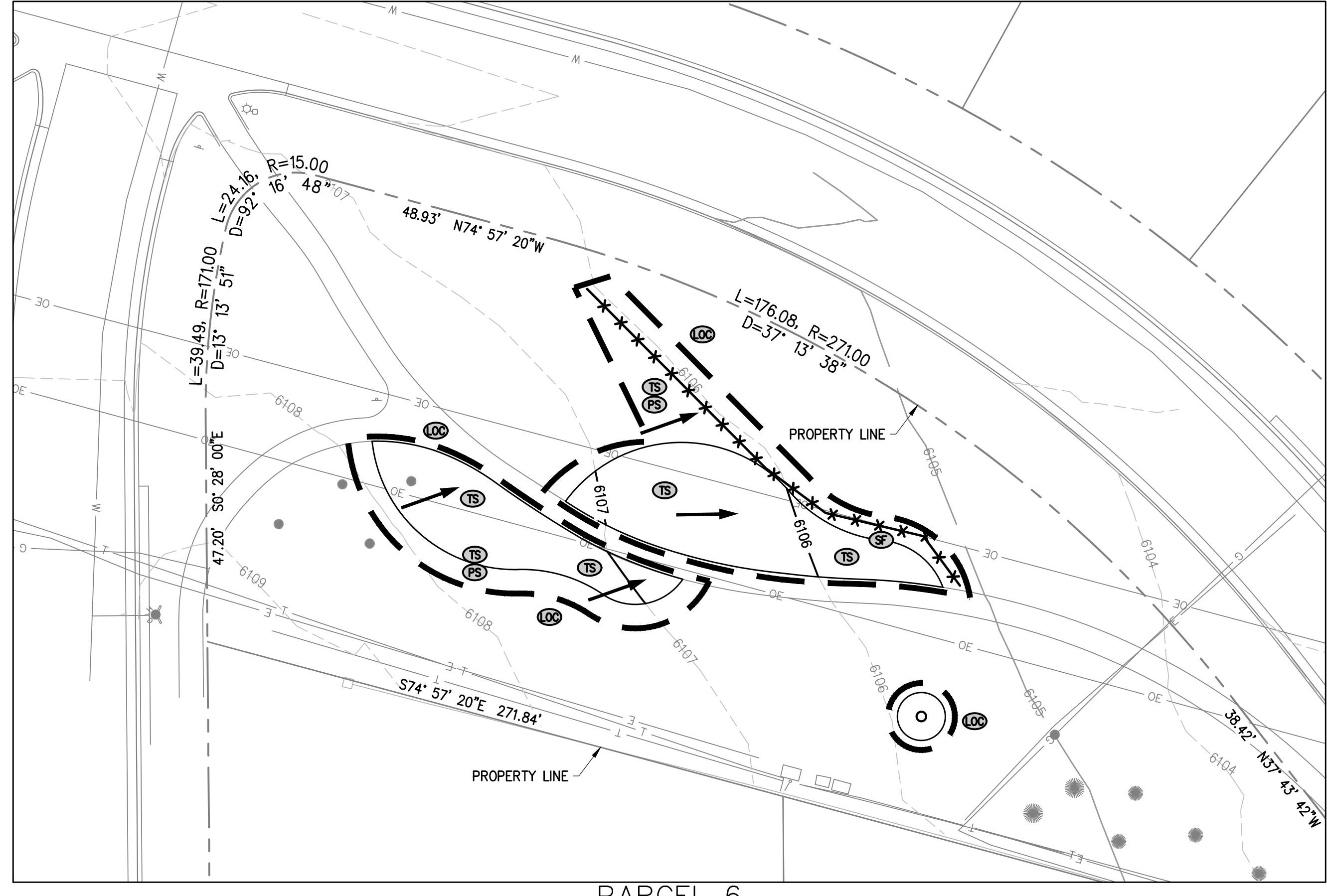
SHEET:  
**C101**



PARCEL 4

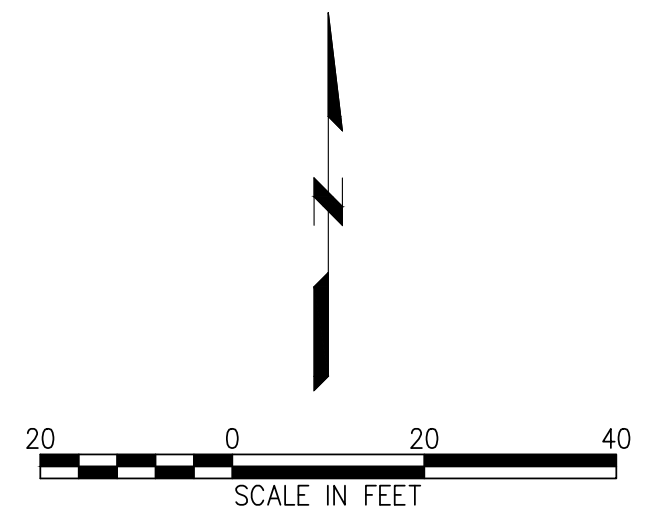
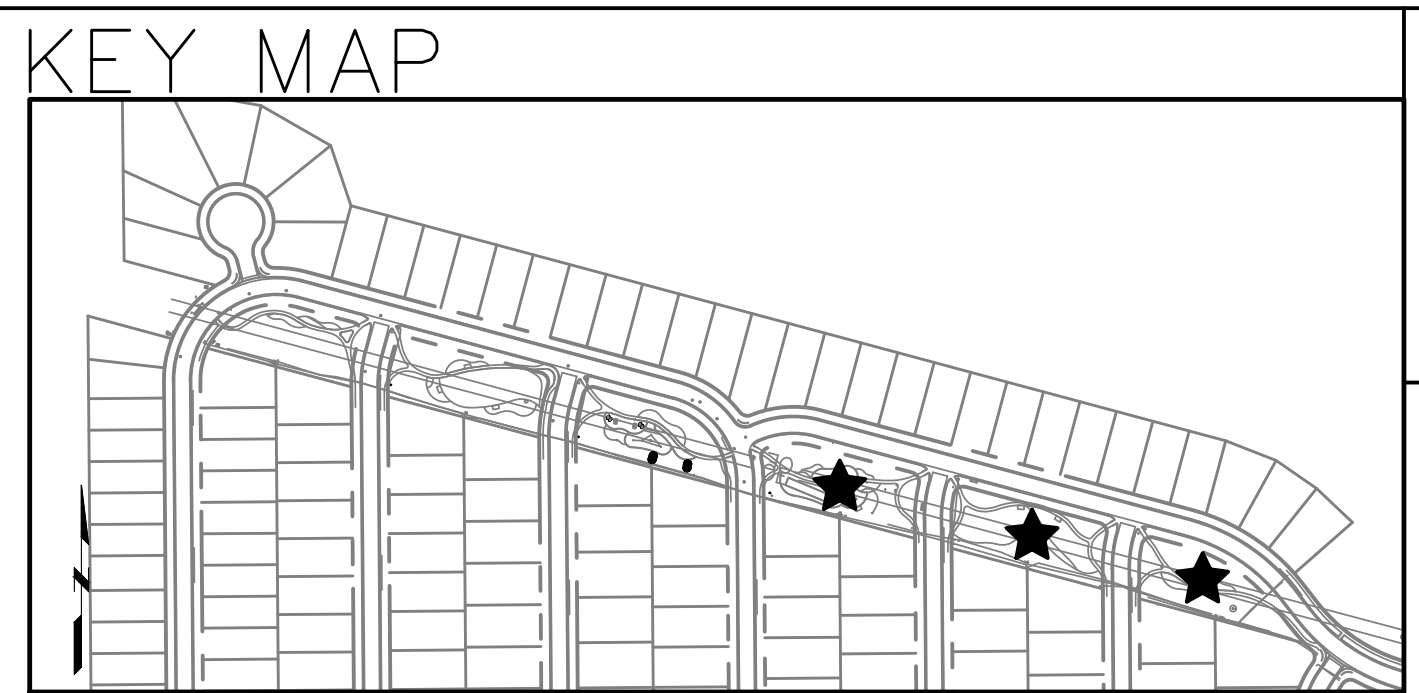


PARCEL 5



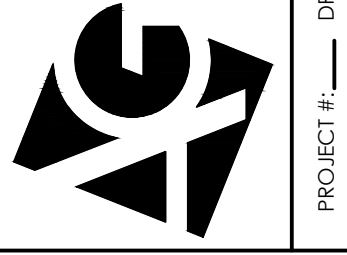
PARCEL 6

- NOTES:**
1. REFER TO LANDSCAPE PLANS FOR LANDSCAPING IMPROVEMENTS.
  2. EXISTING UTILITIES SHOWN ON THIS PLAN MAY NOT BE COMPLETE. CONTRACTOR TO FIELD LOCATE AND POTHOLE ALL UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
  3. REFER TO SHEET C100 FOR ADDITIONAL EROSION CONTROL NOTES.
  4. REFER TO MILE HIGH FLOOD DISTRICT CRITERIA MANUAL VOLUME 3 FOR ADDITIONAL EROSION CONTROL STANDARD DETAILS AND NOTES.
  5. CONTRACTOR TO PROVIDE VEHICLE TRACKING CONTROL, STABILIZED STAGING AREA, AND CONCRETE WASHOUT, IN LOCATIONS TO BE DESIGNATED BY CONTRACTOR (IF NECESSARY)
  6. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL MEASURES TO BE IMPLEMENTED AS NECESSARY.
  7. CONTRACTOR SHALL PROTECT ALL EXISTING INLETS AND STORM DRAINAGE INFRASTRUCTURE FROM SEDIMENT AT ALL TIMES.
  8. PERMANENT SEEDING IS TO BE PLACED AS A FINAL STABILIZATION MEASURE IN ALL AREAS NOT DESIGNATED AS PAVED, PLAYGROUND OR LANDSCAPED ON THE LANDSCAPE PLANS.
  9. REFER TO SHEET C103 & C104 FOR BMP DETAILS AND NOTES.
  10. REFER TO SHEET C100 FOR EROSION CONTROL LEGEND.
  11. TOTAL AREA OF DISTURBANCE = 42,000 SF (0.96 ACRES)



SUBMITTALS:  
 1. IAC CITY SUBMITTAL 10.18.2024  
 2. 025 CED SUBMITTAL 02.21.2025  
 3. 1005 CED SUBMITTAL 06.13.2025  
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 02-26-2024

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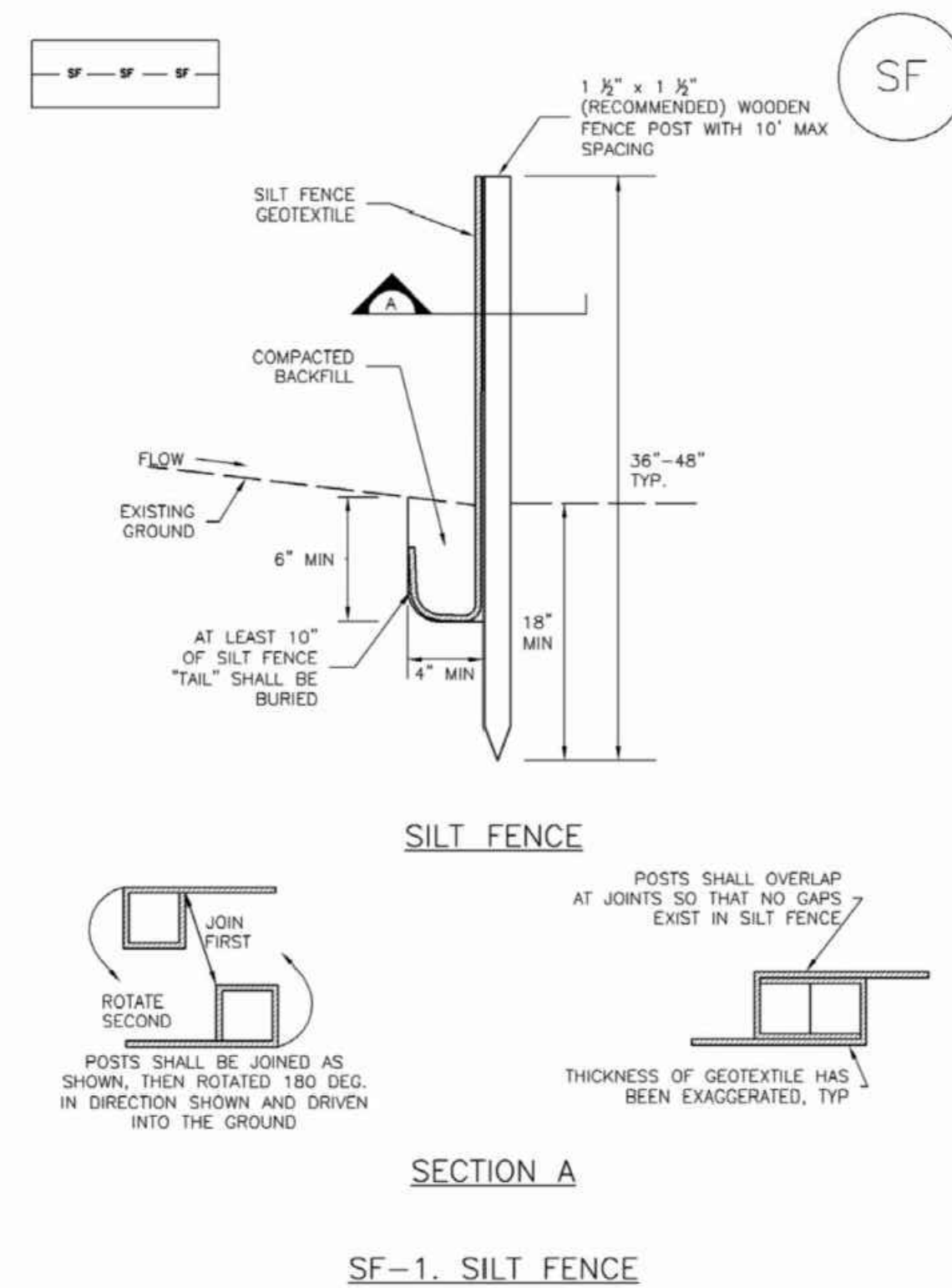
**EROSION CONTROL PLAN - PARCELS 4-6**  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
**C102**



**Silt Fence (SF)**

**SC-1**



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

**SC-1 Silt Fence (SF)**

**SILT FENCE INSTALLATION NOTES**

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "U-HOOK." THE "U-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

**SILT FENCE MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

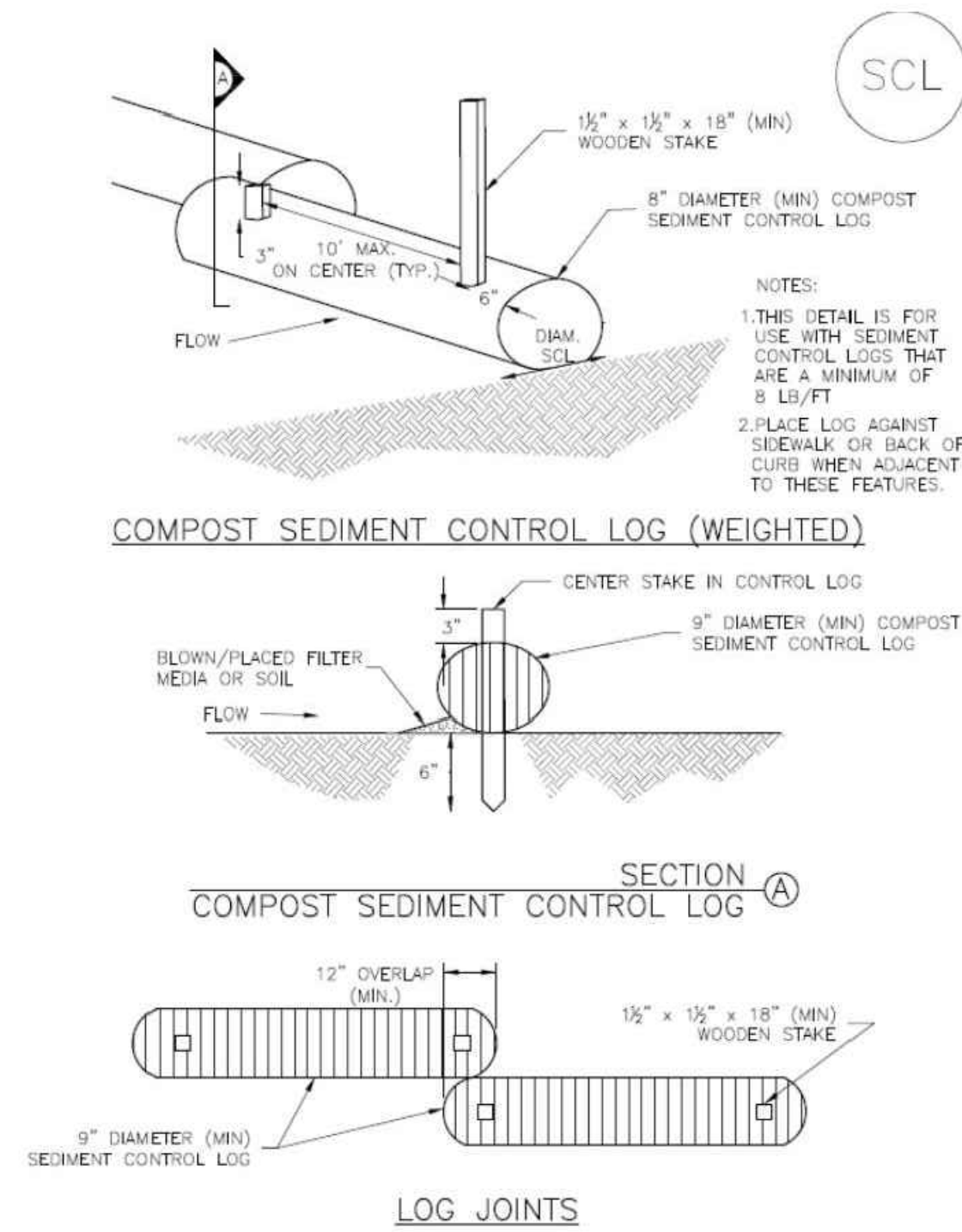
(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SF-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**SC-2**

**Sediment Control Log (SCL)**



SCL-2. COMPOST SEDIMENT CONTROL LOG (WEIGHTED)

SCL-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2015

**SC-2 Sediment Control Log (SCL)**

**SEDIMENT CONTROL LOG INSTALLATION NOTES**

1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
2. SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADE/GRADIENT LAND-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR OR COCONUT FIBER, AND SHALL NOT BE MADE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
4. SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS.
5. IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/3 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING. COMPOST LOGS THAT ARE 8 LB/FT DO NOT NEED TO BE TRENCHED.
6. THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL OR FILTER MATERIAL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER OR BLOWN IN PLACE.
7. FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED. COMPOST LOGS SHOULD BE STAKED 10' ON CENTER.

**SEDIMENT CONTROL LOG MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
5. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. COMPOST FROM COMPOST LOGS MAY BE LEFT IN PLACE AS LONG AS BAGS ARE REMOVED AND THE AREA SEEDED. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

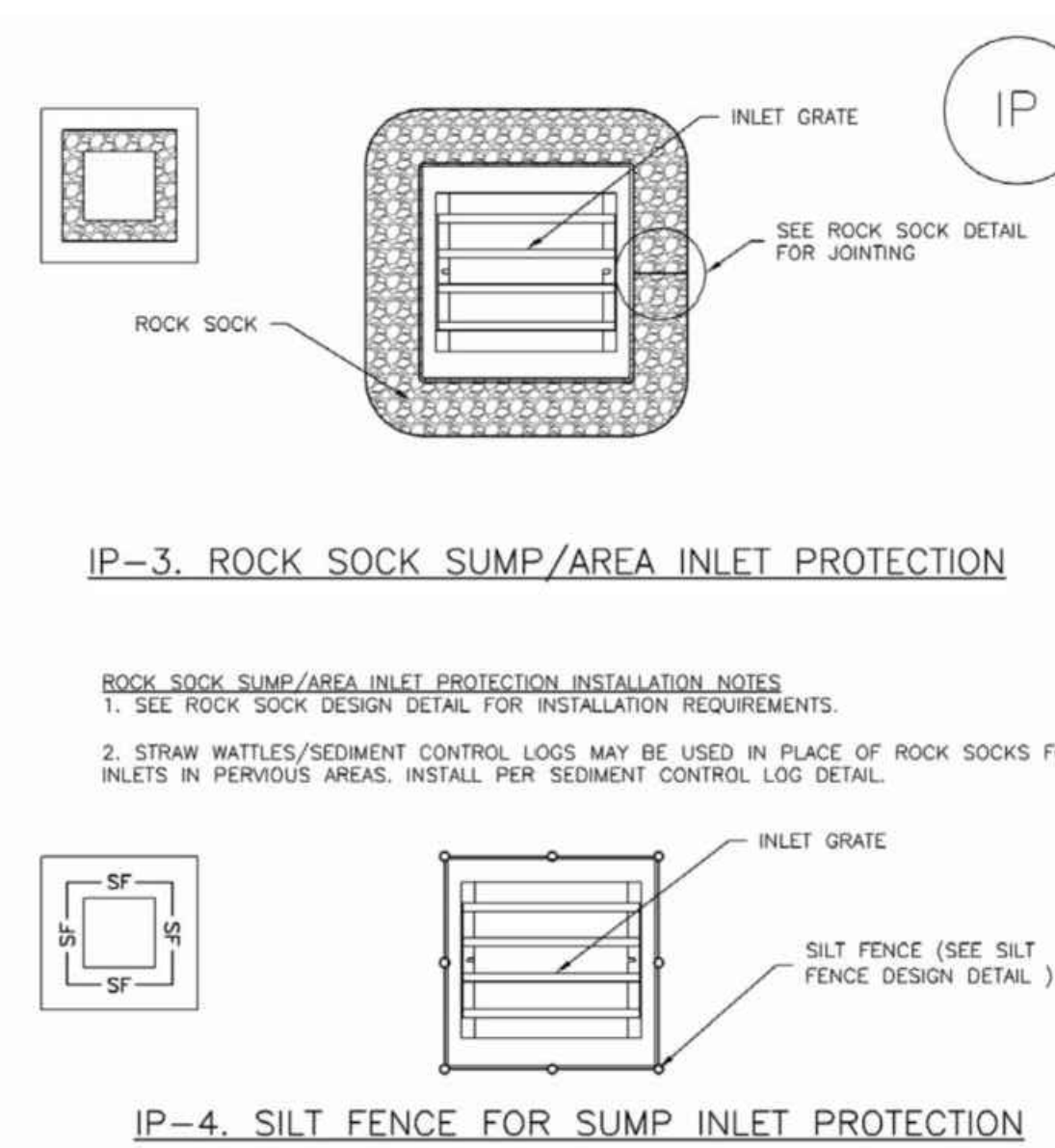
(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO, JEFFERSON COUNTY, COLORADO, DOUGLAS COUNTY, COLORADO, AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SCL-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2015

**Inlet Protection (IP)**

**SC-6**



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

**ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES**

1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

IP-4. SILT FENCE FOR SUMP INLET PROTECTION

**SILT FENCE INLET PROTECTION INSTALLATION NOTES**

1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

August 2013 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 IP-5

**SC-6 Inlet Protection (IP)**

**GENERAL INLET PROTECTION INSTALLATION NOTES**

1. SEE PLAN VIEW FOR:
  - LOCATION OF INLET PROTECTION.
  - TYPE OF INLET PROTECTION (IP.1, IP.2, IP.3, IP.4, IP.5, IP.6)
2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

**INLET PROTECTION MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/3 OF THE HEIGHT FOR STRAW BALES.
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

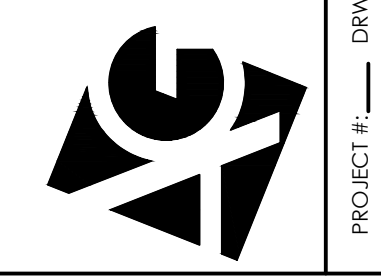
NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

IP-8 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 August 2013

SUBMITTALS:  
 1. IAC CITY SUBMITTAL 10.18.2024  
 2. IAC CITY SUBMITTAL 02.21.2025  
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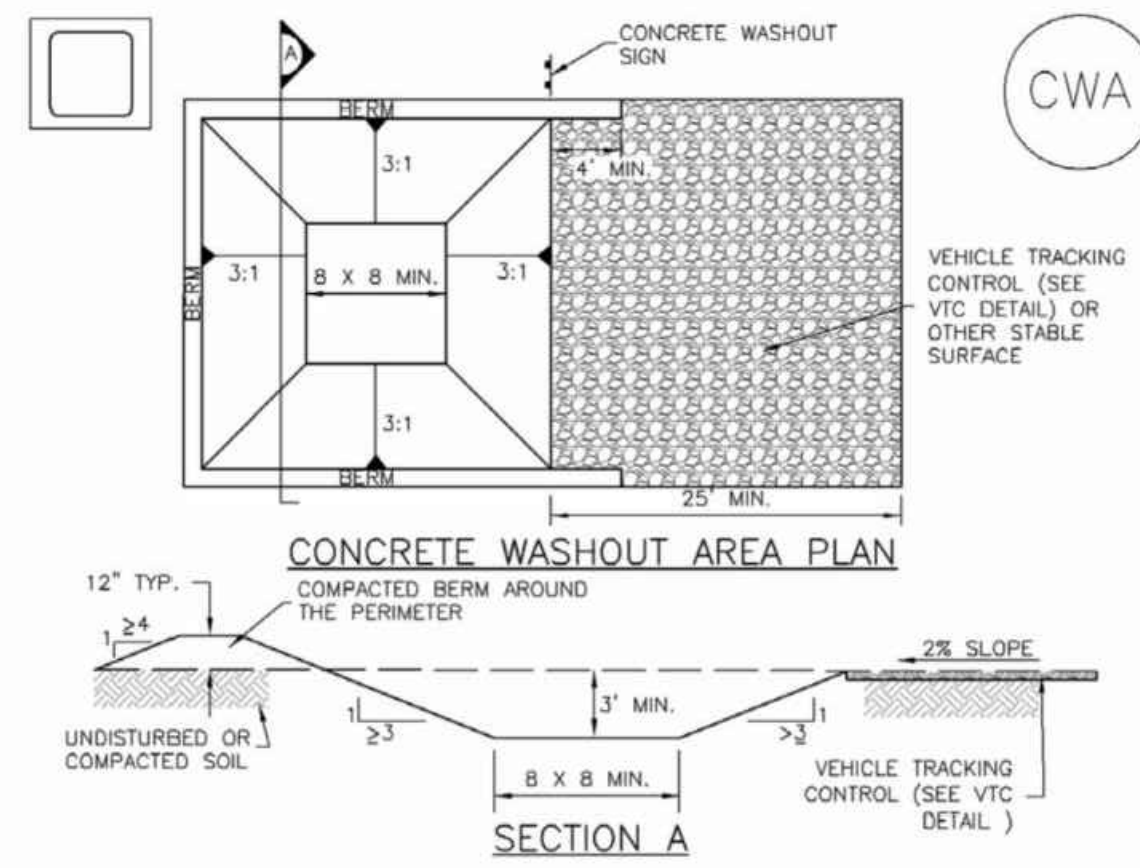
**EROSION CONTROL DETAILS**  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**C103**



**Concrete Washout Area (CWA)**

**MM-1**



**CWA-1. CONCRETE WASHOUT AREA**

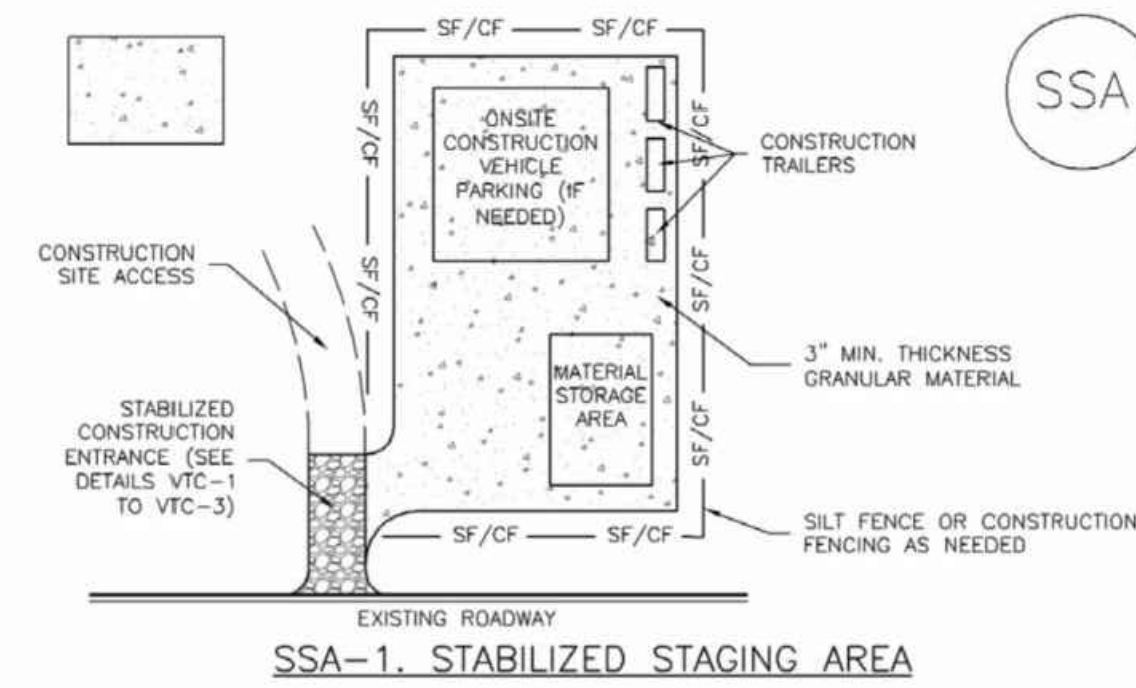
**CWA INSTALLATION NOTES**

- SEE PLAN VIEW FOR:  
-CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (18 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST B' BY B' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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**Stabilized Staging Area (SSA)**

**SM-6**



**SSA-1. STABILIZED STAGING AREA**

**STABILIZED STAGING AREA INSTALLATION NOTES**

- SEE PLAN VIEW FOR:  
-LOCATION OF STAGING AREA(S).  
-CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.

- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

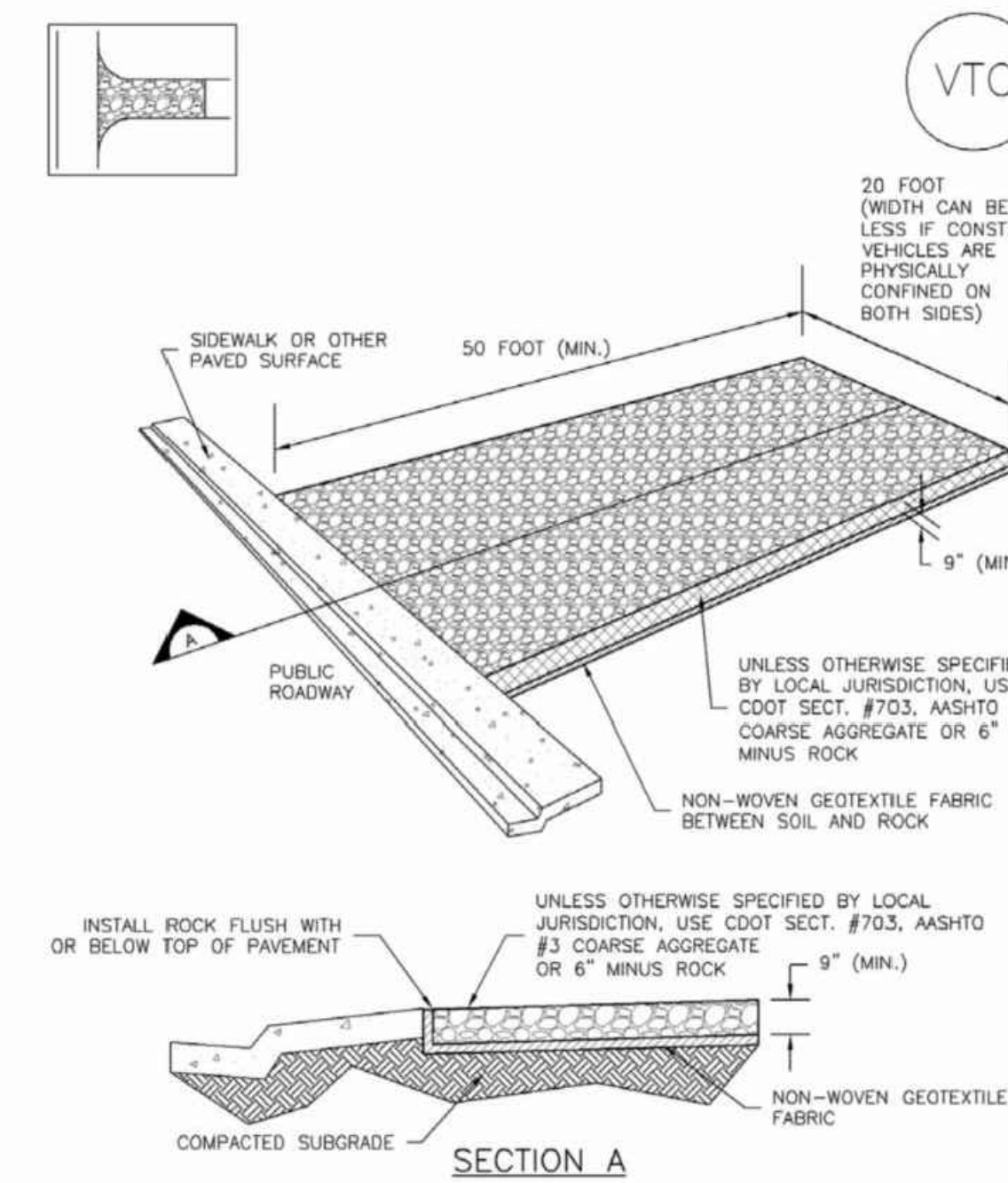
**STABILIZED STAGING AREA MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SSA-3

**Vehicle Tracking Control (VTC)**

**SM-4**



**VTC-1. AGGREGATE VEHICLE TRACKING CONTROL**

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-3

**MM-1 Concrete Washout Area (CWA)**

**CWA MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE, CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD).  
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**SM-6 Stabilized Staging Area (SSA)**

**STABILIZED STAGING AREA MAINTENANCE NOTES**

- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
  - THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDING AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.
- NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.  
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

SSA-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**SM-4 Vehicle Tracking Control (VTC)**

**STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**

- SEE PLAN VIEW FOR:  
-LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).  
-TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

**STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**

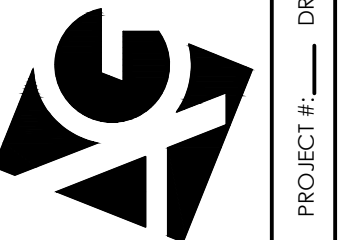
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
  - SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

SUBMITTALS:  
1. ALL CITY SUBMITTALS: 10.18.2024  
2. ALL COUNTY SUBMITTALS: 02.27.2025  
3. ALL STATE SUBMITTALS: 06.17.2025  
ISSUED FOR CONSTRUCTION  
02-26-2024

ARCHITERRA GROUP  
5881 south deframe street  
little ton, colorado 80127  
303.948.0766 fa.x.948.0977  
www.architerra group.com



EROSION CONTROL DETAILS  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO



SHEET:  
**C104**

### DESIGN DATA

ALL WORK SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, 2018 EDITION AND CITY OF ARVADA MUNICIPAL CODE LOCAL AMENDMENTS.

WIND:  
136 MPH ULTIMATE (3 SEC. GUST)  
EXP. C

MINIMUM FROST DEPTH: 36 INCHES

SOIL AND SUBGRADE VALUES (PER GEOTECHNICAL REPORT):  
AT-REST = 60 PCF  
PASSIVE = 270 PCF  
COEFFICIENT OF FRICTION = 0.31  
ALLOWABLE BEARING PRESSURE = 2500 PSF

SEE GEOTECHNICAL EVALUATION 24-3042B BY GROUND ENGINEERING FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SLACKLINE LIVE LOAD: 3,500 LB LATERAL LOAD AT 6'-0" ABOVE FINISHED GRADE

### CONCRETE NOTES

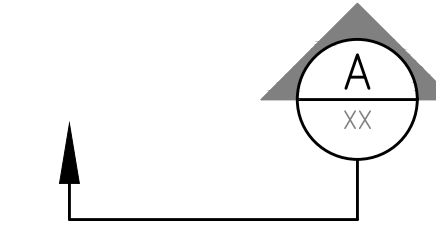
1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF ACI 318, ACI 304, AND ACI 315.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH 2.5-4.5% ENTRAINED AIR AND TYPE II CEMENT UNLESS NOTED OTHERWISE.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS OTHERWISE NOTED. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B". ALL HOOKS SHALL BE STANDARD UNLESS NOTED OTHERWISE.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:  
CONCRETE CAST AGAINST EARTH = 3 IN  
CONCRETE EXPOSED TO EARTH OR WEATHER  
#6 AND LARGER = 2 IN  
#5 AND SMALLER & WWF = 1-1/2 IN  
CONCRETE NOT EXPOSED TO EARTH OR WEATHER NOR CAST AGAINST EARTH:  
SLAB AND WALL = 3/4 IN  
BEAMS AND COLUMNS = 1-1/2 IN
5. WHEN PARALLEL REINFORCING BARS ARE PLACED IN LAYERS OF TWO OR MORE, THE CLEAR SPACING BETWEEN LAYERS SHALL BE AT LEAST 1".
6. A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE UNLESS NOTED OTHERWISE IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
7. HOLES TO RECEIVE EXPANSION/WEDGE ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR BOLT, DOWEL OR ROD AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. LOCATE AND AVOID CUTTING EXISTING REBAR WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS.
8. USE AND INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHORS SHALL BE PER ICBO & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.
9. COLUMN BASE PLATES SHALL BE PLACED WITH SETTING TEMPLATES.
10. PLACE (2) #5 BARS (1 EACH FACE) WITH A 2'-0" PROJECTION ON ALL SIDES AND DIAGONALLY ACROSS CORNERS OF ALL OPENINGS LARGER THAN 12" SQUARE IN CONCRETE SLABS AND WALLS, UNLESS NOTED OTHERWISE.
11. MAKE ALL BARS CONTINUOUS AROUND CORNERS OR PROVIDE CORNER BARS OF EQUAL SIZE AND SPACING.
12. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT.
13. THE CONTRACTOR SHALL ALLOW FOR AND COORDINATE A VISUAL INSPECTION BY THE STRUCTURAL ENGINEER, OR OWNER'S TESTING AGENCY, OF ALL REINFORCING AND OTHER EMBEDDED ELEMENTS PRIOR TO PLACEMENT OF ASSOCIATED CONCRETE.
14. CAST IN ANCHOR BOLTS SHALL BE ASTM F-1554 GR. 55.
15. CONCRETE SURFACES TO RECEIVE CLASS C FINISH. CONCRETE SURFACE RECEIVING STONE VENEER SHALL HAVE CLASS B FINISH.

### CONTRACTOR RESPONSIBILITY DURING CONSTRUCTION

1. THE CONTRACTOR SHALL REMAIN RESPONSIBLE FOR THE STABILITY OF ALL EXISTING AND PROPOSED STRUCTURES DURING ALL PHASES OF CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTION OPERATIONS SUCH AS DEMOLITION, EXCAVATION, AND STEEL ERECTION.
2. ALL TEMPORARY FORMWORK, FALSEWORK, BRACING, EXCAVATION SHORING, OR OTHER MEASURES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

### SHEET INDEX

S-1 STRUCTURAL GENERAL NOTES  
S-2 MONUMENT SIGN DETAILS  
S-3 SLACKLINE CAISSON DETAILS



SECTION OR DETAIL IDENTIFICATION  
CROSS-REFERENCE SHEET NUMBER ( -- = SAME SHEET)

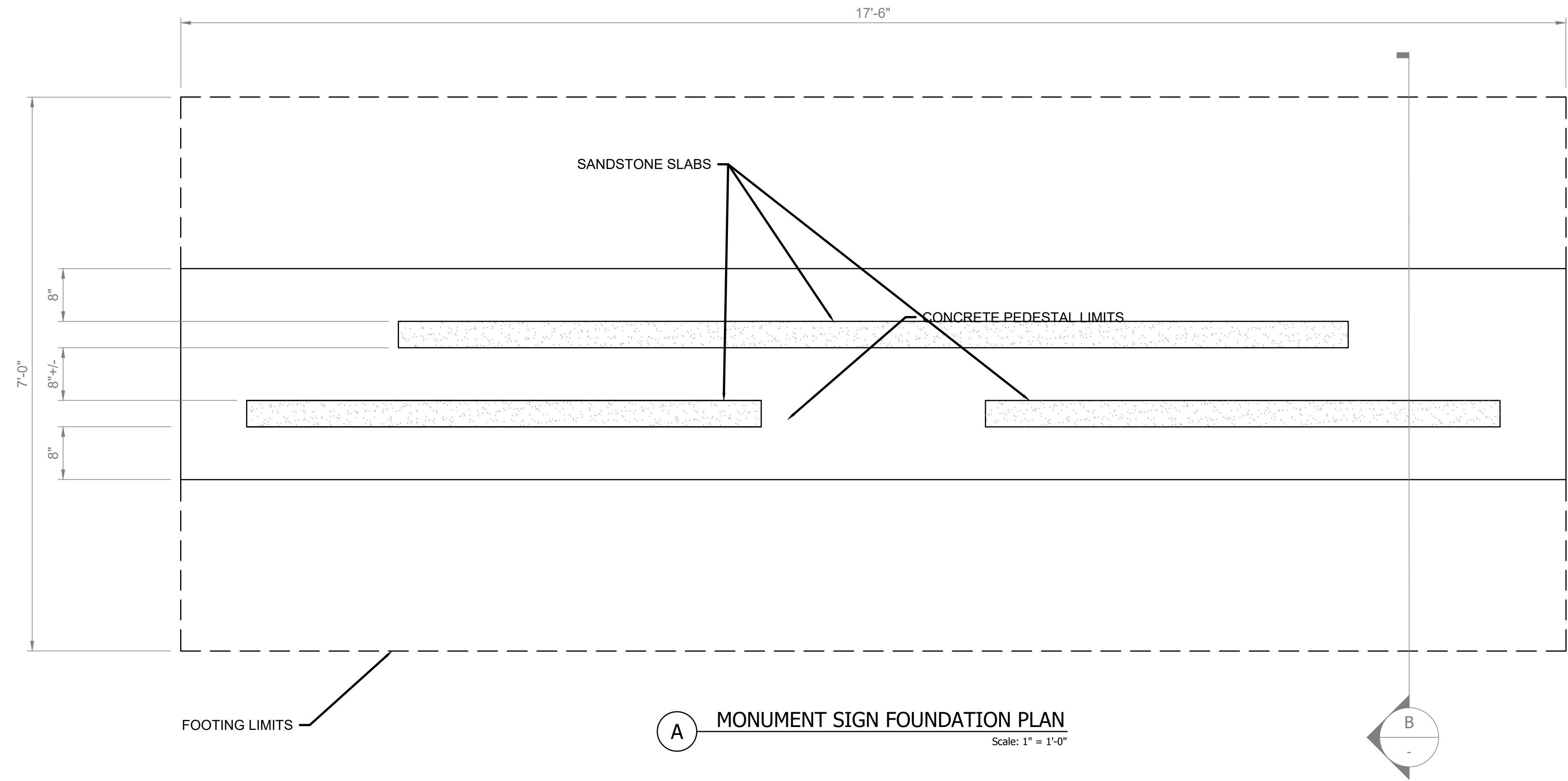
SUBMITTALS:  
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2ND CITY SUBMITTAL 2.21.2025  
3RD CITY SUBMITTAL 4.30.2025  
**ISSUED FOR CONSTRUCTION**  
02-26-2024

**ARCHITERRA GROUP**  
5881 south deirframe street  
littleton, colorado 80127  
303.948.0766 fax.948.0977  
www.architerragroup.com



**STRUCTURAL GENERAL NOTES**  
LEYDEN ROCK  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

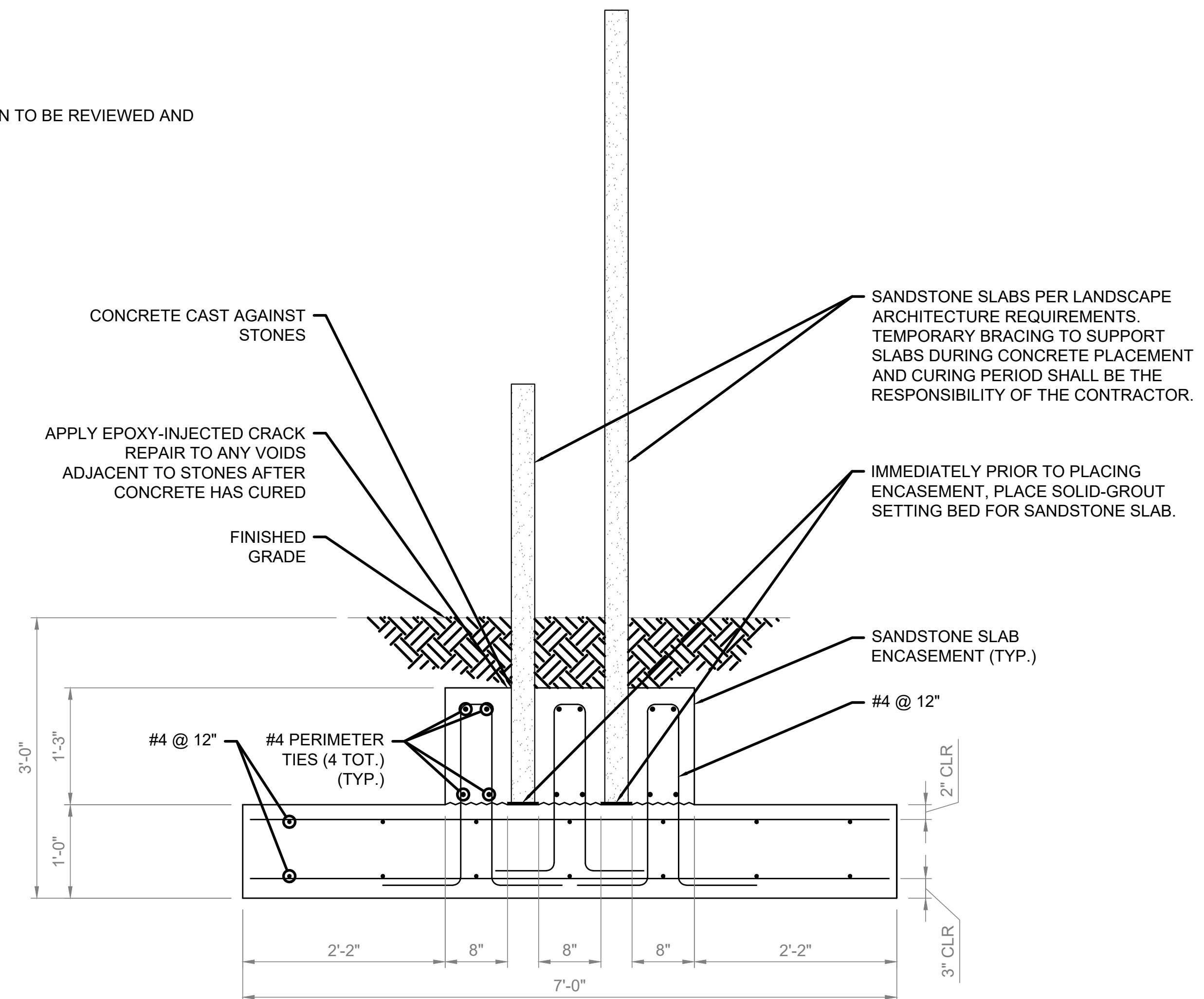
SHEET:  
**S-1**



**A** MONUMENT SIGN FOUNDATION PLAN  
Scale: 1" = 1'-0"

**NOTES**

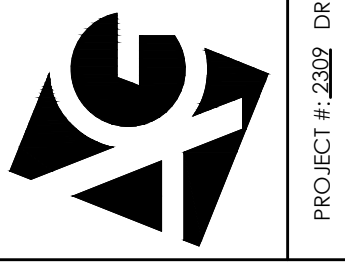
1. THIS IS A CONCEPTUAL DESIGN. ACTUAL SIGN TO BE REVIEWED AND APPROVED THROUGH A SEPERATE PERMIT



**B** MONUMENT SIGN SECTION AT SLAB  
Scale: 1" = 1'-0"

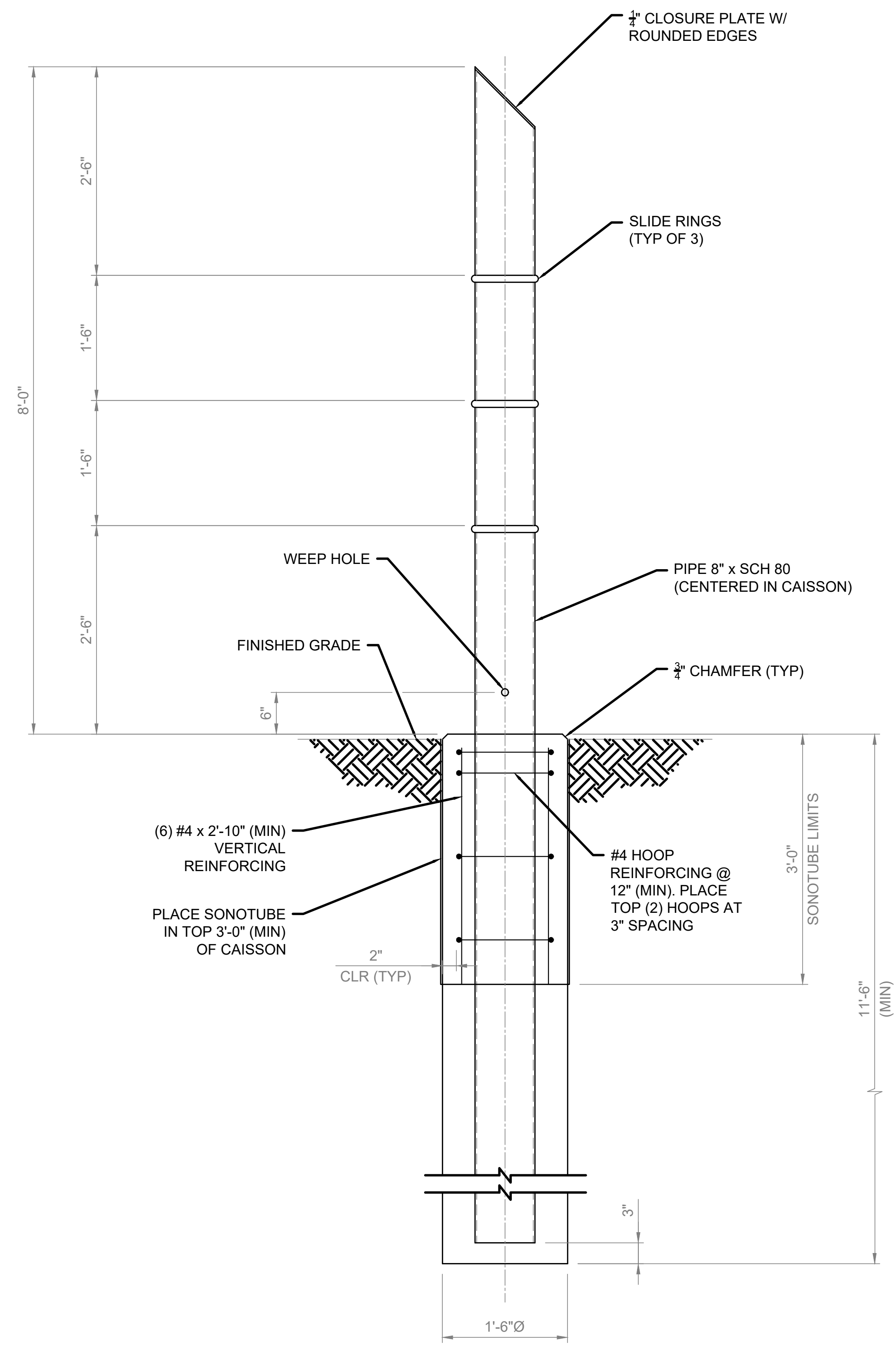
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**MONUMENT SIGN DETAILS**  
LEYDEN ROCK  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**S-2**



**F TYPICAL SLACKLINE CAISSON SECTION**  
Scale: 1" = 1'-0"

**NOTES:**

1. STEEL WORK FOR SLACK LINE SHALL CONFORM TO AISC 360 AND TOLERANCES SHALL CONFORM TO AISC 303 UNLESS NOTED OTHERWISE. CONTRACOR SHALL KEEP A COPY OF THESE REFERENCES.
2. PIPE MEMBER MATERIAL:  
STANDARD PIPE - ASTM A53 Gr. B (35 KSI)

**SUBMITTALS:**  
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PROJECT #: 2020 DRAWN BY: ASG DATE: 06.30.24 CHD BY: LMD



**SLACKLINE CAISSON DETAILS**

LEYDEN ROCK  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**S-3**

### IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.
	RAIN BIRD	1812 SAM PRS WITH MFR SERIES NOZZLE	HI-POP SPRAY HEAD	1
	RAIN BIRD	1812 SAM-PRS WITH SST, CORNER NOZZLE	HI-POP SPRAY HEAD	1
	HUNTER	I-20-06-SS WITH # STANDARD NOZZLE (BLUE)	GEAR DRIVEN ROTOR	3
	HUNTER	I-20-06-SS WITH # STANDARD NOZZLE (BLUE)	GEAR DRIVEN ROTOR	3
	HUNTER	I-20-12 WITH # STANDARD NOZZLE (BLUE)	HI-POP GEAR DRIVEN ROTOR	2
	HUNTER	I-20-12 WITH # STANDARD NOZZLE (BLUE)	HI-POP GEAR DRIVEN ROTOR	2
	RAIN BIRD	FEB SERIES	ELECTRIC CONTROL VALVE	4
	RAIN BIRD	XBS075B006 SERIES	POLY DRIP TUBING -3/4" MIN. WIDTH	5-7
	RAIN BIRD	XCZ-100-PRF	DRIP VALVE ASSEMBLY	5
	HUNTER / NIBCO	ECO-ID-12-R WITH NIBCO BALL VALVE	DRIP LINE BLOW-OUT STUB AND INDICATOR HEAD	7
N/S	RAIN BIRD	XBCV - XERI-BUG WITH CHECK VALVE	DRIP EMITTERS	6
		EMT CONDUIT - SIZE PER WIRE COUNT	WIRE CONDUIT	8 & 9
N/S	OLDCASTLE / CARSON	REFER TO SPECIFICATIONS AND DETAILS	VALVE BOXES	VARIOUS
			WIRE SPLICE	9
			EXISTING BACKFLOW DEVICE	
	RAIN BIRD		EXISTING CONTROLLER- ESP-LXME IV/ LXMM-PED (48 STATIONS)	
			EXISTING METER	
			EXISTING VALVE CALLOUT	
			EXISTING DRIP VALVE	
	RAIN BIRD	QUOTE #CVM081015 802A (33 PSI BOOST)	EXISTING BOOSTER PUMP	
			EXISTING MAINLINE	
			EXISTING SLEEVING	
			CONTROLLER & STATION NO. CONTROLLER VALVE SIZE	
			NUMBER OF SPARE WIRES - 2 CONTROL AND 1 SPARE WIRES TO WHICH CONTROLLER - SEE CONSTRUCTION NOTES	

### IRRIGATION CONSTRUCTION NOTES

- DRAWINGS AND BASE INFORMATION - ALL BASE AND PLANTING INFORMATION HAVE BEEN PROVIDED BY ARCHITERRA GROUP. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY HYDROSYSTEMS\*KDI OF ANY DISCREPANCIES BETWEEN THE UTILITY OR PLANTING PLANS AND THE IRRIGATION PLAN. IF CONTRACTOR FAILS TO NOTIFY HYDROSYSTEMS\*KDI AND MAKES CHANGES TO THE IRRIGATION SYSTEM DESIGN, THEY ASSUME ALL COSTS AND LIABILITIES ASSOCIATED WITH THOSE FIELD CHANGES. REFER TO SPECIFICATIONS FOR ADDITIONAL PROJECT REQUIREMENTS. CONTACT IRRIGATION CONSULTANT FOR CURRENT SPECIFICATIONS IF NOT PROVIDED.
- SYSTEM PRESSURE - HYDROSYSTEMS\*KDI HAS CONTACTED THE LOCAL WATER DISTRICT THAT SERVES THIS SITE AND THEY HAVE BEEN TOLD THAT THE STATIC WATER PRESSURE IN THIS AREA SHOULD BE 52.5 PSI. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY PRESSURE PRIOR TO COMMENCING ANY CONSTRUCTION AND NOTIFY HYDROSYSTEMS\*KDI OF ANY VARIANCE FROM THE STATED PRESSURE IMMEDIATELY. WRITTEN DOCUMENTATION OF PRESSURE TEST AND RESULTS SHALL BE PROVIDED TO HYDROSYSTEMS\*KDI AT CONSTRUCTION ONSET. IF CONTRACTOR FAILS TO FIELD VERIFY PRESSURE AND/OR NOTIFY HYDROSYSTEMS\*KDI OR ANY VARIATIONS FROM THIS PRESSURE, THEN THEY ASSUME ALL CONSTRUCTION AND ENGINEERING COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS REQUIRED TO ACCOMMODATE ACTUAL SITE PRESSURE. REFER TO POINT OF CONNECTION & CONTROLLER DATA MATRIX BELOW FOR REQUIRED PRESSURE AT EACH LOCATION. REFER TO POINT OF CONNECTION NOTES FOR SPECIFIC PRESSURE REQUIRED AT THAT LOCATION. THIS SYSTEM HAS BEEN DESIGNED FOR A REQUIRED STATIC PRESSURE OF 81 PSI MINIMUM. (BOOSTER PUMP REQUIRED)
- IRRIGATION SYSTEM OPERATION INTENT - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO IRRIGATE THE ESTABLISHED LANDSCAPE WITHIN A SIX NIGHT PER WEEK, TEN HOUR PER NIGHT WATERING WINDOW. ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A FOUR TO SIX WEEK PERIOD. THE DESIGN IS BASED ON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES ARE BASED ON A 30-YEAR AVERAGE WEATHER DATA AND WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND WEATHER CONDITIONS ABOVE AND BELOW THE AVERAGE VALUES UTILIZED.  
 BLUEGRASS TURF 1.98" PER WEEK PEAK SEASON  
 ORNAMENTAL PLANTINGS 0.89" PER WEEK PEAK SEASON  
 NATIVE SEED MIXES 0.74" PER WEEK PEAK SEASON (TWO SEASONS)  
 NOTE: IT IS THE INTENT OF THIS DESIGN THAT NATIVE AREAS WOULD ONLY BE IRRIGATED FOR ESTABLISHMENT. SYSTEM WILL REMAIN FOR USE DURING YEARS WITH LESS THAN NORMAL RAINFALL.
- EQUIPMENT INSTALLATION - IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN PROPERTY LIMITS AND WITHIN LANDSCAPED AREAS. INSTALLATION SHALL BE COORDINATED WITH OTHER UTILITY WORK. ALL OTHER UTILITIES SHALL TAKE PRECEDENCE OVER IRRIGATION LOCATION. ANY EQUIPMENT OTHER THAN VALVE BOXES OR SLEEVING THAT CONTAINS PIPE OR WIRES SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 2'-0" FROM EDGE OF ANY PAVED SURFACES UNLESS SPECIFICALLY INDICATED ON PLANS. BOXES INSTALLED IN OPEN TURF AREAS SHALL BE KEPT TO EDGES AND STAKED FOR REVIEW IF ALONG HIGH TRAFFIC AREAS. ALL VALVE BOXES SHALL BE PLACED A MINIMUM OF 3'-0" FROM THE CENTERLINE OF ANY DRAINAGE SWALE. ALL VALVE BOXES WITHIN PAVEMENT SHALL BE TIER 15 RATED BOXES FOR HEAVY DUTY NON-DELIBERATE TRAFFIC. BOX LID COLOR SHALL MATCH ADJACENT MATERIALS, I.E. GREEN IN TURF, TAN IN WOOD MULCH, GRAY IN STONE MULCH, PURPLE FOR RECLAIMED WATER SYSTEMS (IF REQUIRED). REFER TO LANDSCAPE PLANS FOR MATERIAL COLORS AND TYPES. ALL BOXES SHALL BE INSTALLED TO BE FLUSH WITH GRADE AND IN AN ORDERLY MANNER. WHERE MORTAR PAVING LIDS ARE INSTALLED ABOVE BOXES, IRRIGATION BOX WITH LID SHALL BE LOWERED TO ACCOMMODATE PAVING LID. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION, TO BE INSTALLED PER MANUFACTURE RECOMMENDATIONS.
- PIPING INSTALLATION - IRRIGATION PIPING SHALL MAINTAIN A MINIMUM DISTANCE FROM BUILDING FOUNDATIONS OF 5 FEET OR AS DESCRIBED IN SOILS REPORT, WHICHEVER IS GREATER. NO SPRAY IRRIGATION SHALL OCCUR WITHIN 10 FEET OF THE FOUNDATION. NO DRIP IRRIGATION SHALL OCCUR WITHIN 5 FEET OF THE FOUNDATION UNLESS SOIL MOISTURE SENSORS ARE INSTALLED ON VALVES SERVING THESE AREAS. ALL IRRIGATION PIPING AND EMISSION DEVICES LOCATED ON TOP OF OR WITHIN BUILDING STRUCTURE SHALL CONFORM TO WATERPROOFING CONSULTANT REQUIREMENTS. PIPE ROUTING MAY BE SHOWN WITHIN THESE DISTANCES FOR GRAPHICAL CLARITY ONLY.
- MANUAL DRAIN VALVES - CONTRACTOR TO INSTALL ONE MANUAL DRAIN VALVE ON PRESSURE SUPPLY LINE DIRECTLY DOWNSTREAM OF BACKFLOW PREVENTER AND AT ALL LOW POINTS AND DEAD ENDS OF PRESSURE SUPPLY PIPING TO ENSURE COMPLETE DRAINAGE OF SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THESE LOCATIONS IN-FIELD AND INSTALLATION LOCATIONS SHALL BE NOTED ON AS-BUILTS.
- POP-UP SPRAY NOZZLES - CONTRACTOR TO INSTALL PLASTIC NOZZLES ON ALL POP-UP SPRAY HEADS. INSTALL 15 SERIES NOZZLES ON ALL HEADS SPACED AT 12 TO 14'. INSTALL 12 SERIES NOZZLES ON ALL HEADS SPACED 10' TO 11'. INSTALL 10 SERIES NOZZLES ON ALL HEADS SPACED AT 8' TO 9'. INSTALL 8 SERIES NOZZLES ON ALL HEADS SPACED AT 6' TO 7'. INSTALL SIDE STRIP NOZZLES ON ALL HEADS WITH AN "S" DESIGNATION AND RIGHT AND LEFT CORNER STRIP NOZZLES ON ALL HEADS WITH AN "L" OR "R" DESIGNATION. INSTALL LOW FLOW "SQ" SERIES NOZZLES WITH SQUARE SHORT RADIUS PATTERN WHERE INDICATED AT SPACING SHOWN. VARIABLE ARC NOZZLES SHOULD BE UTILIZED ADJACENT TO CURVILINEAR SHRUB BEDS OR FOR ANY ANGLES THAT ARE NOT A STANDARD NOZZLE ANGLE. HIGH EFFICIENCY POPUP NOZZLES HAVE BEEN SELECTED FOR THEIR DISTRIBUTION UNIFORMITY AND FLOW CHARACTERISTICS. NO SUBSTITUTION WILL BE ALLOWED.
- DRIP IRRIGATION - REFER TO IRRIGATION DETAIL SHEET FOR DRIP EMITTER QUANTITIES / DRIP TUBING FLOW AND PLACEMENT.
- UNLABELED PIPING - ALL UNLABELED LATERAL PIPING SHALL BE 1" MINIMUM UNLESS OTHERWISE NOTED.
- SLEEVING - ALL SLEEVING UNDER PAVED SURFACES SHOWN ON PLANS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. SLEEVING SHALL BE INSTALLED IN THE SIZES AND QUANTITIES SHOWN ON PLANS OR BASED ON THE SCHEDULE BELOW. WHERE SLEEVES ARE SHOWN, BUT NOT LABELED, FOLLOW THE SCHEDULE BELOW. ALL MAINLINE, CONTROL WIRES AND DRIP LINES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVINGS. ALL MAINLINE SLEEVE LOCATIONS TO INCLUDE A SEPARATE WIRE SLEEVE.  
 SLEEVED PIPE SIZE/WIRE QUANTITY REQUIRED SLEEVE SIZE & QUANTITY  
 3/4" - 1 1/2" PIPING 2" FVC (1)  
 1 1/2" - 2" PIPING 4" FVC (1)  
 1-25 CONTROL WIRES 2" FVC (1)  
 COMMUNICATION CABLE 2" FVC (1)
- SPARE CONTROL WIRES - CONTRACTOR SHALL EXTEND THREE SPARE WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM EACH CONTROLLER TO THE END OF THE MAINLINE SERVING THAT CONTROLLER OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN 10' ROUND VALVE BOX WITH QUICK COUPLING VALVE. REFER TO SPECIFICATIONS FOR WIRE COLOR. SEE IRRIGATION SCHEDULE FOR ADDITIONAL INFORMATION.
- ADJUSTMENT - CONTRACTOR SHALL FINE TUNE/ADJUST THE IRRIGATION SYSTEM TO REDUCE/AVOID OVERSPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
- PLANS AND SPECIFICATIONS - CONTRACTOR RESPONSIBLE TO ENSURE WORK CONFORMS TO PLANS AND SPECIFICATIONS, INCLUDING ANY REVISED SETS. AT ONSET OF CONSTRUCTION, VERIFY PLANS ARE CURRENT. DO NOT CONSTRUCT ANY PORTIONS OF THE IRRIGATION OFF OF PLANS MARKED NOT FOR CONSTRUCTION OR FOR REVIEW ONLY. FAILURE TO VERIFY CURRENT PLANS MAY RESULT IN RECONSTRUCTION AT CONTRACTOR'S EXPENSE. WHERE REQUIRED BY CITY, TOWN OR WATER DISTRICT ENTITY, CONTRACTOR SHALL CONSTRUCT ONLY OFF PLANS STAMPED WITH APPROVAL. PLANS PREPARED FOR CITY SUBMITTAL MAY BE MARKED "ISSUE FOR CONSTRUCTION", BUT ARE NOT VALID WITHOUT CITY APPROVAL STAMP BELOW. IF NO STAMP IS PRESENT, CONFIRM NO CITY APPROVAL IS REQUIRED. REVISIONS TO APPROVED OR STAMPED PLANS SHALL CONFORM TO FIELD CHANGE PROCEDURES AND DOCUMENTATION AS REQUIRED BY THE CITY OR DISTRICT.
- EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.
- EXISTING IRRIGATION COORDINATION - EXISTING IRRIGATION SYSTEM SHALL NOT BE TURNED OFF FOR MORE THAN 24 HOURS MAXIMUM. CONTRACTOR SHALL COORDINATE TURN OFF OF SYSTEM WITH OWNER OR MAINTENANCE STAFF 72 HOURS PRIOR TO ANY NEW CONSTRUCTION.
- SIMULTANEOUS ZONE OPERATION - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE MULTIPLE ZONES SIMULTANEOUSLY BASED ON INDIVIDUAL ZONE FLOW. THE DESIGN IS INTENDED TO OPERATE MULTIPLE VALVES, UP TO THE MAXIMUM FLOW IN THE POINT OF CONNECTION NOTE. REFER TO CONTROLLER SPECIFICATION FOR MAXIMUM SIMULTANEOUS VALVE COUNT.
- BACKFLOW DEVICES: ALL CONNECTION COMPONENTS AND BACKFLOW DEVICES SHALL BE LEAD-FREE. CONTRACTOR SHALL CONTACT WATER SERVICE PROVIDER FOR ANY ADDITIONAL REQUIREMENTS REGARDING BACKFLOW TESTING.
- WATER BUDGETS AND PROJECTIONS - HYDROSYSTEMS\*KDI HAS BASED THE IRRIGATION DESIGN AND THE ASSOCIATED PROJECTED WATER USE UPON SUCH FACTORS AS CITY OR WATER DISTRICT IMPOSED REQUIREMENTS, PUBLISHED PLANT SPECIES WATER NEEDS, SELECTED IRRIGATION METHOD EFFICIENCIES AS REPORTED BY INDEPENDENT TESTING FACILITIES, HISTORICAL WEATHER DATA FOR THE PROJECT LOCATION, AND PROPER MAINTENANCE PROCEDURES. HYDROSYSTEMS\*KDI IS NOT RESPONSIBLE, AND ACCEPTS NO RESPONSIBILITY, FOR THE ACTUAL WATER USAGE VARIATION THAT IS A RESULT OF FIELD MODIFICATIONS TO THE SYSTEM NOT MATCHING CONSTRUCTION DOCUMENTS, IMPROPER MAINTENANCE, WASTE DUE TO SYSTEM DAMAGE OR VANDALISM, OR WEATHER CONDITIONS THAT DEVIATE FROM PUBLISHED 30 YEAR HISTORICAL AVERAGES.
- PRESSURE TESTING - CONDUCT MAINLINE TEST IN PRESENCE OF CONSULTANT. ARRANGE FOR PRESENCE OF CONSULTANT 48 HOURS IN ADVANCE OF TESTING. SUPPLY FORCE PUMP AND ALL OTHER TEST EQUIPMENT. COMPRESSED AIR SHALL NOT BE USED FOR PRESSURE TESTING SYSTEM.  
 23.1. AFTER BACKFILLING, AND INSTALLATION OF ALL CONTROL VALVES, FILL PRESSURE SUPPLY LINE WITH WATER, AND PRESSURIZE TO 40 PSI OVER THE DESIGNATED STATIC PRESSURE OR 120 PSI, WHICHEVER IS GREATER, FOR A PERIOD OF 2 HOURS.  
 23.2. LEAKAGE, PRESSURE LOSS - TEST IS ACCEPTABLE IF NO LOSS OF PRESSURE IS EVIDENT DURING THE TEST PERIOD.  
 23.3. LEAKS - DETECT AND REPAIR LEAKS.  
 23.4. RETEST SYSTEM UNTIL TEST PRESSURE CAN BE MAINTAINED FOR DURATION OF TEST.  
 23.5. BEFORE FINAL ACCEPTANCE, PRESSURE SUPPLY LINE SHALL REMAIN UNDER PRESSURE FOR A PERIOD OF 48 HOURS.  
 23.6. PRESSURE TEST SHALL BE SCHEDULED AND PASSED PRIOR TO SCHEDULING OF SUBSTANTIAL COMPLETION WALK-THROUGH.

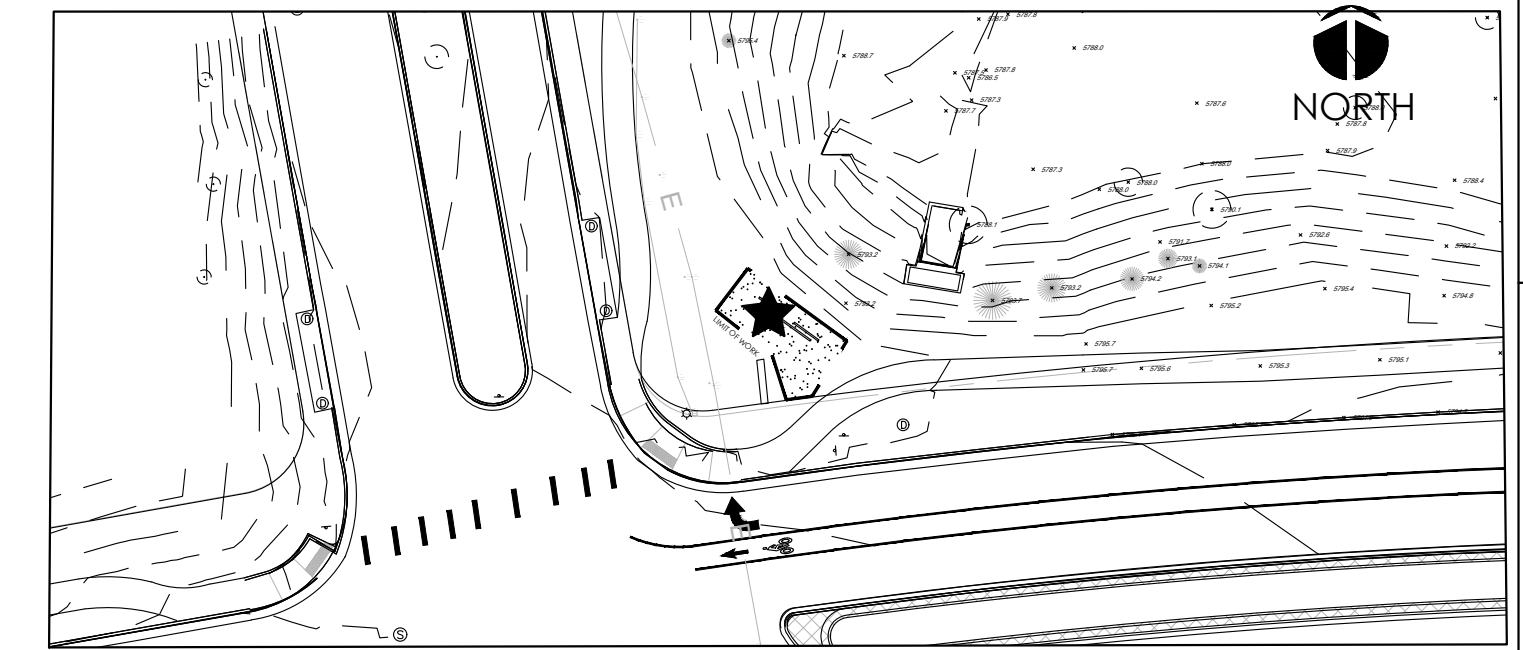


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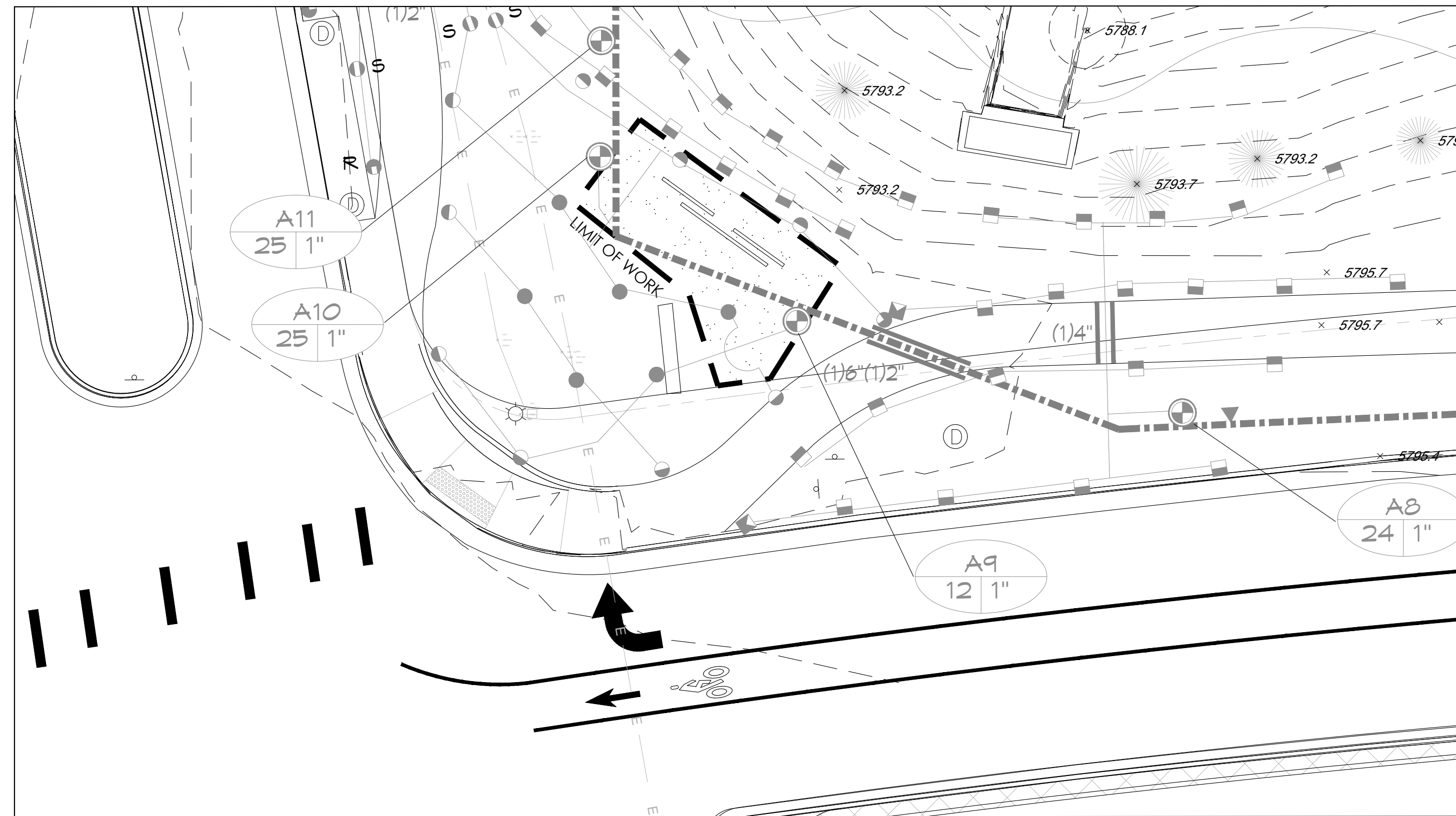


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 13949 W. Cofax Ave., Suite 260 Lakewood, Colorado 80401  
 o: 303.980.5327 www.hydrosystemsmdi.com

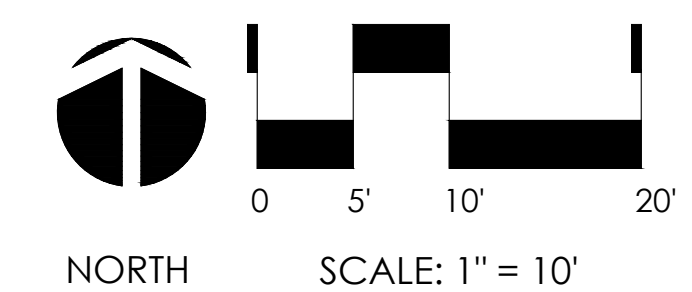
**KEY MAP**



EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.



**IRRIGATION PLAN**



DIRECTORY	
IRRIGATION SCHEDULE	IR-1
IRRIGATION NOTES	IR-1
IRRIGATION PLANS	IR-2 - IR-8
IRRIGATION DETAILS	IR-8



**ARCHITERRA GROUP**  
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**SUBMITTALS:**  
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 2ND CITY SUBMITTAL 7/27/2025  
**ISSUED FOR CONSTRUCTION**  
 02-04-2024

PROJECT # 2302 DRAWN BY: HAC DATE: 02-22-25 CHECK BY: KJD

**CULEBRA ENTRANCE -- IRRIGATION PLANS**

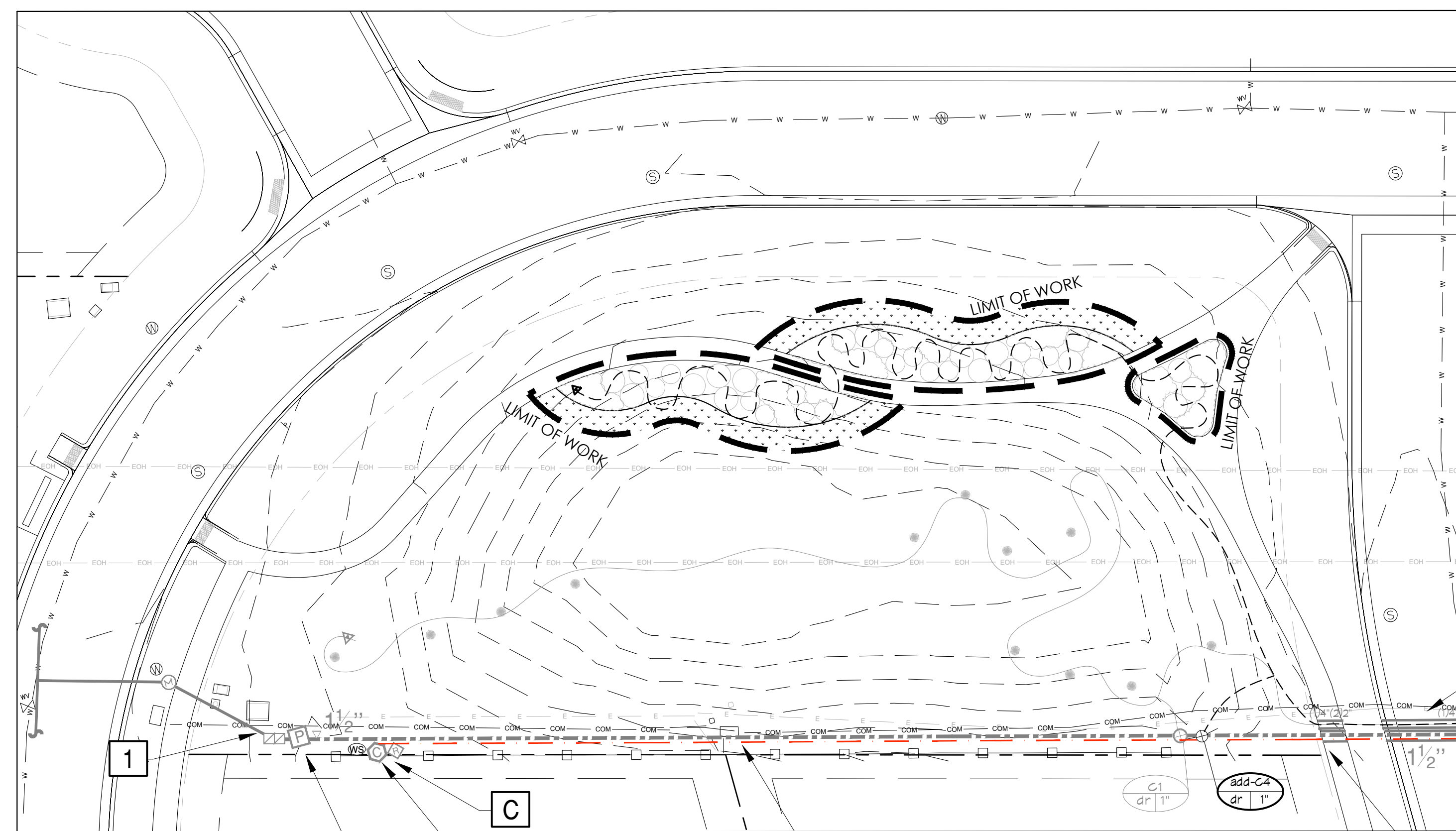
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**IR-2**

EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.

**1** EXISTING LEYDEN FILING 6-POINT OF CONNECTION #2 - 3/4"  
PEAK FLOW REQUIREMENT: 10 GPM. REQUIRED STATIC PRESSURE: 52.5 PSI

**C** EXISTING CONTROLLER LOCATION "C"  
ADD THREE-TWELVE STATION MODULES TO EXISTING CONTROLLER



**IRRIGATION PLAN**

LOCATE AND PROTECT EXISTING CONTROLLER AND RUN NEW CONTROL WIRES FOR NEW VALVES (2-WHITE-COMMON, 42-RED-HOT, AND 3 SPARE WIRES). CONTRACTOR TO TRENCH NEW WIRE OFF-SETTING EXISTING MAINLINE BY 2' MIN. (MARKER TAPE 6" BELOW GRADE) CONTRACTOR WILL BE RESPONSIBLE TO REPAIR AND REPLACE ANY IRRIGATION SYSTEMS DAMAGED DURING NEW CONSTRUCTION.

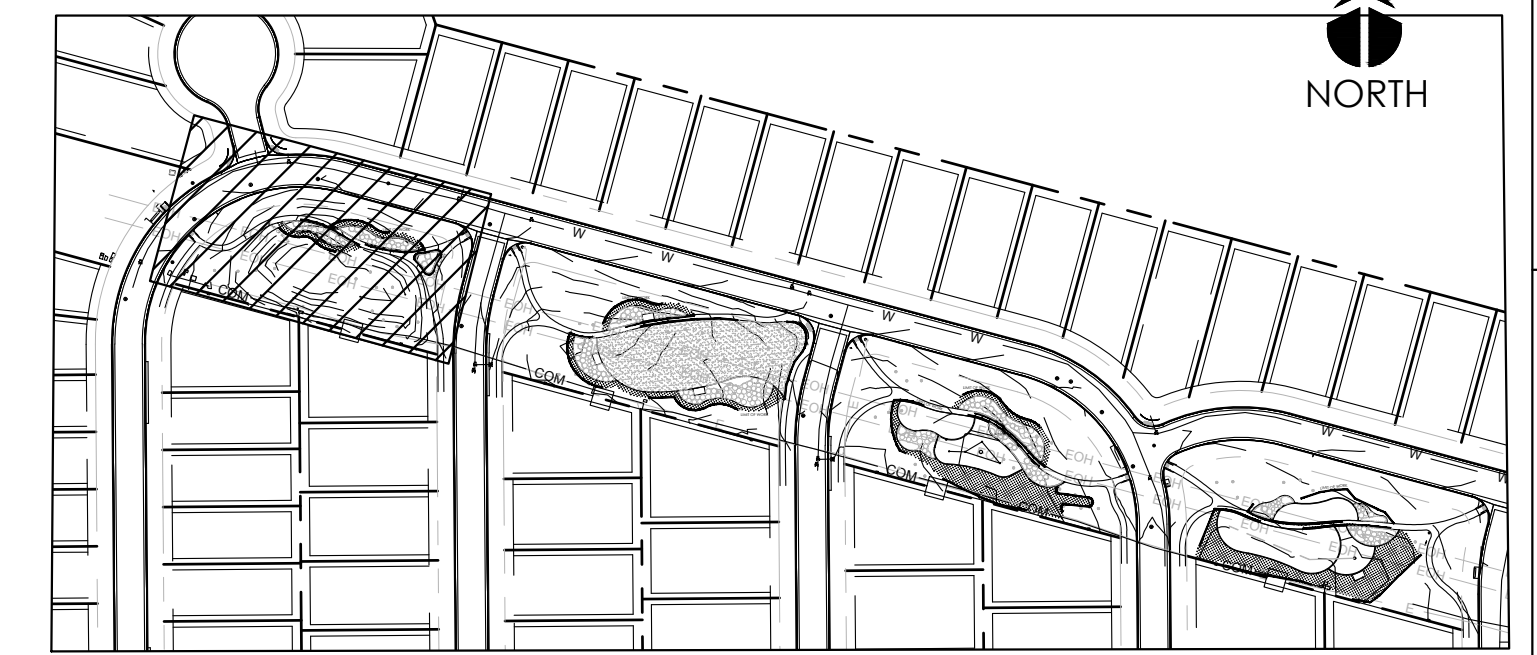
CONTRACTOR TO LOCATE & CONNECT EXISTING PUMP. (33 PSI BOOST)  
\*WATER WINDOW WILL NEED TO BE ADJUSTED- SEE IRRIGATION NOTES AND SCHEDULE

CONTRACTOR TO TRENCH NEW WIRE IN A NEW SEPARATE TRENCH.

EXTEND NEW DRIP TUBE THROUGH EXISTING SLEEVE WITH EXISTING DRIP LINE.

EXTEND NEW WIRE THROUGH EXISTING SLEEVE WITH EXISTING DRIP LINE.

**KEY MAP**



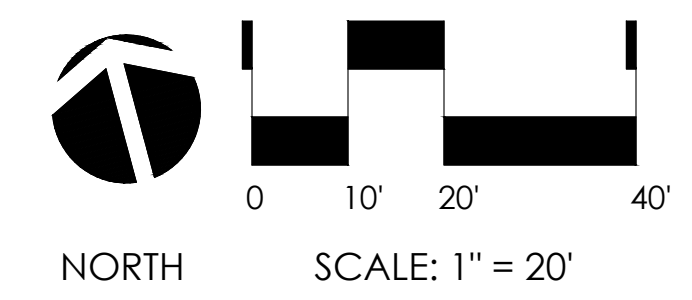
SUBMITTALS:  
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2ND CITY SUBMITTAL 7/27/2025  
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**PARCEL 1 - IRRIGATION PLANS**  
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

DIRECTORY	
IRRIGATION SCHEDULE	IR-1
IRRIGATION NOTES	IR-1
IRRIGATION PLANS	IR-2 - IR-8
IRRIGATION DETAILS	IR-8

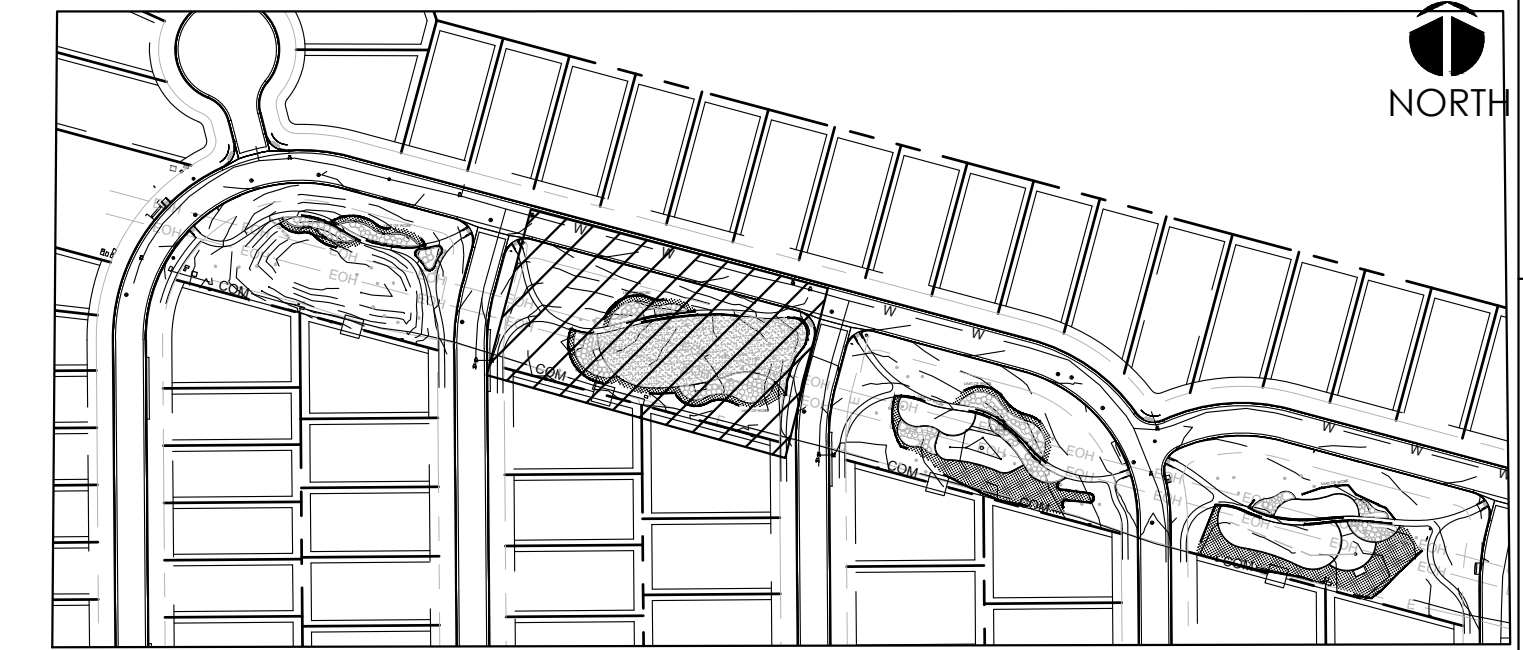


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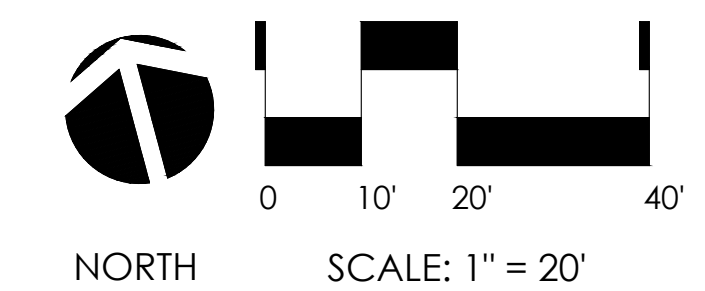
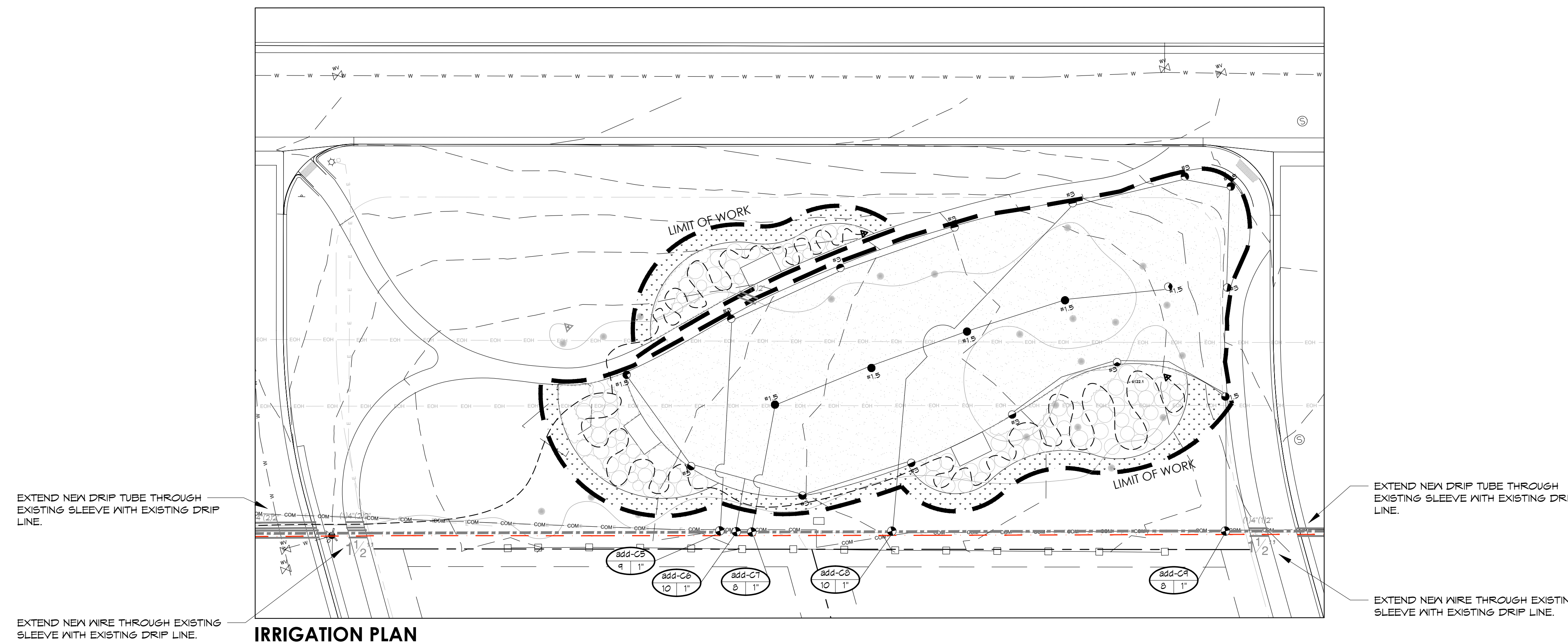
**KDI**  
**HydroSystems**  
Irrigation Consulting & Water Management  
13949 W. Colfax Ave, Suite 260 Lakewood, Colorado 80401  
c. 303.980.5327 www.hydrosystems-kdi.com

**SHEET:**  
**IR-3**

**KEY MAP**



EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.



DIRECTORY  
 IRRIGATION SCHEDULE  
 IRRIGATION NOTES  
 IRRIGATION PLANS  
 IRRIGATION DETAILS

IR-1  
 IR-1  
 IR-2 - IR-8  
 IR-8



SUBMITTALS:  
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 2ND CITY SUBMITTAL 7/27/2025  
**ISSUED FOR CONSTRUCTION**  
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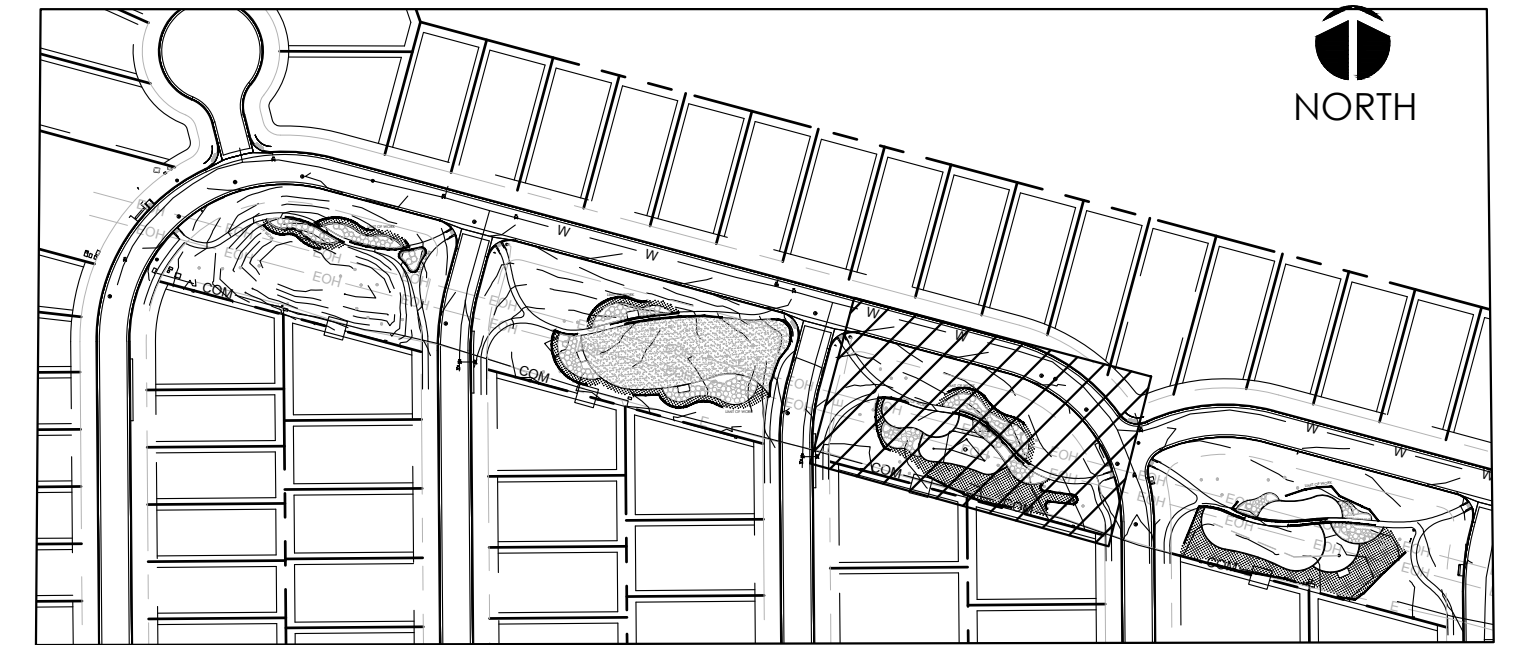
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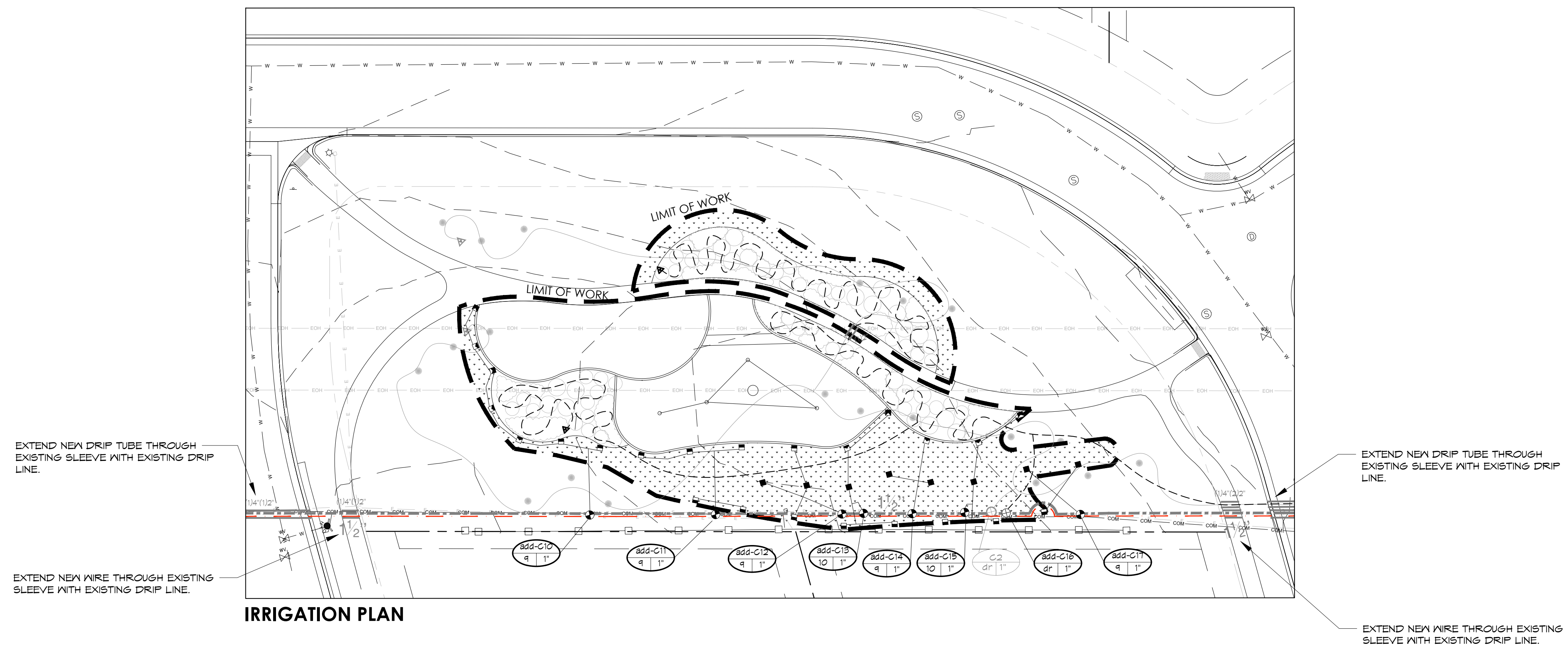
**PARCEL 2 - IRRIGATION PLANS**  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**IR-4**

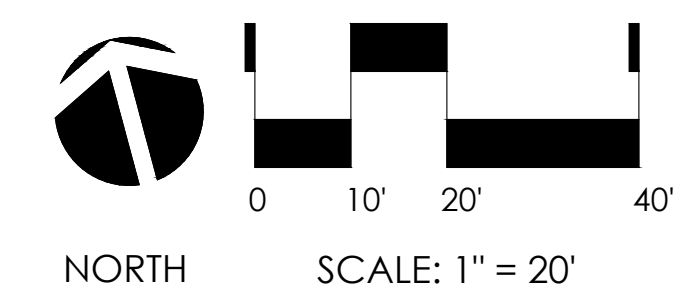
# KEY MAP



EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.



**IRRIGATION PLAN**



DIRECTORY	
IRRIGATION SCHEDULE	IR-1
IRRIGATION NOTES	IR-1
IRRIGATION PLANS	IR-2 - IR-8
IRRIGATION DETAILS	IR-8



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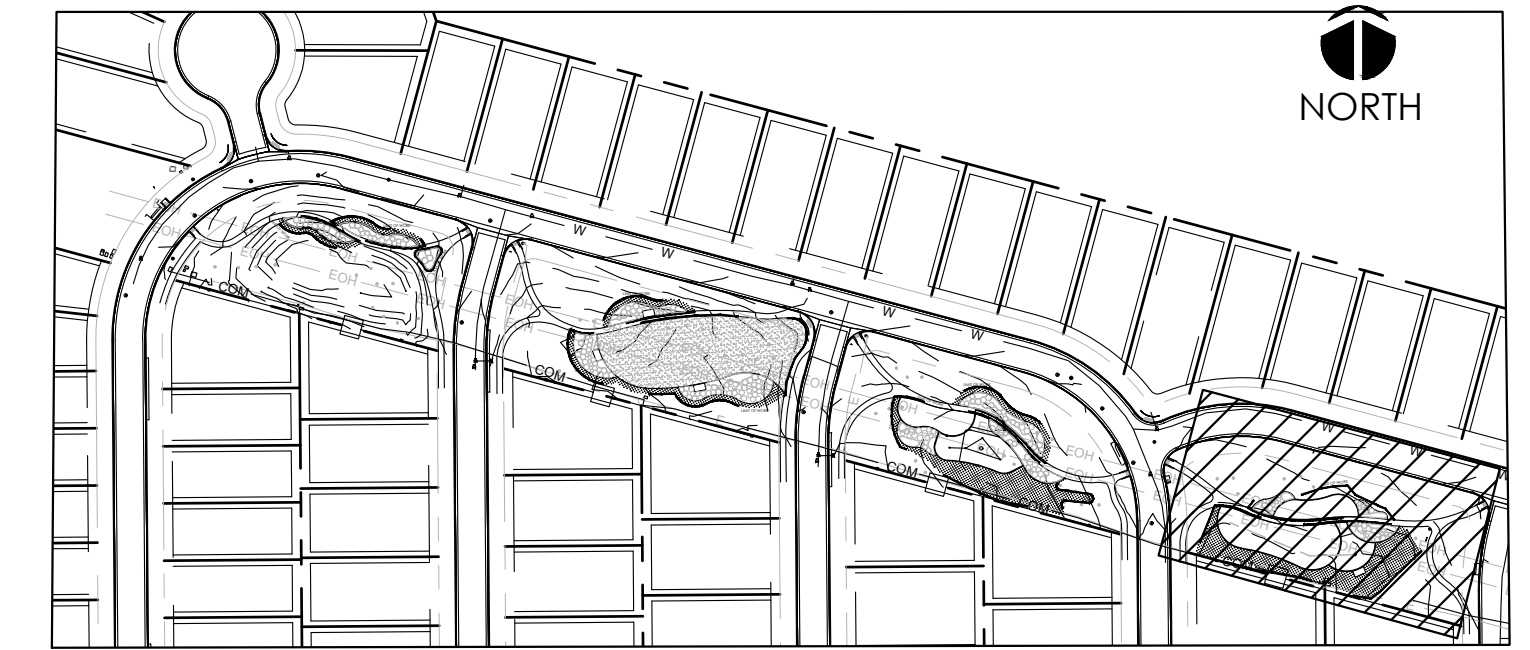
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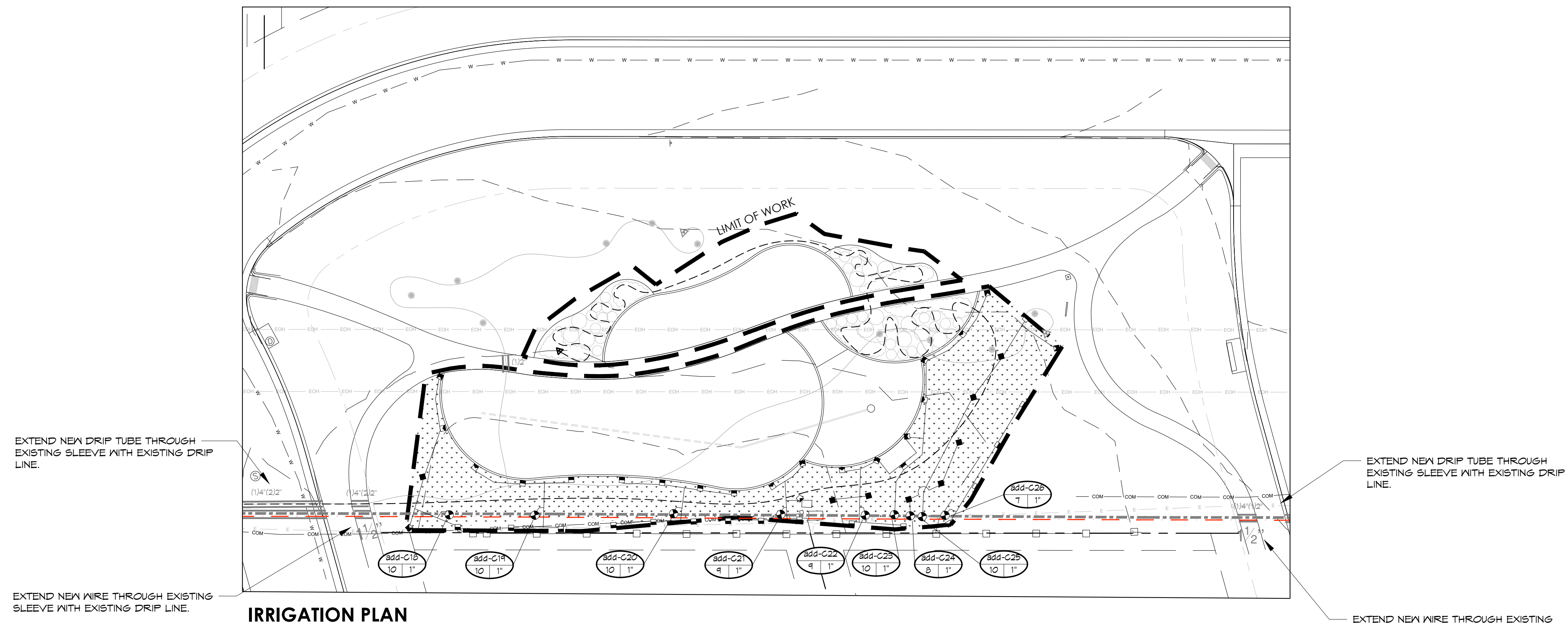
PARCEL 3 - IRRIGATION PLANS  
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

SHEET:  
**IR-5**

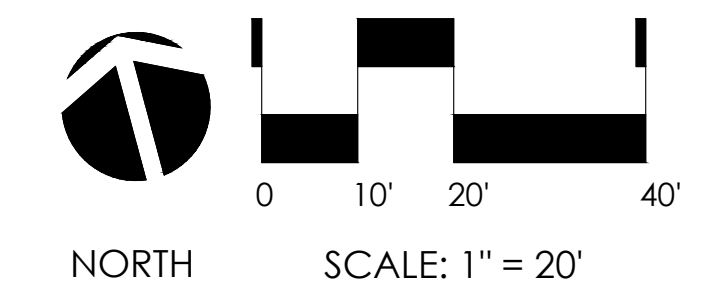
### KEY MAP



EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.



**IRRIGATION PLAN**



DIRECTORY	
IRRIGATION SCHEDULE	IR-1
IRRIGATION NOTES	IR-1
IRRIGATION PLANS	IR-2 - IR-8
IRRIGATION DETAILS	IR-8



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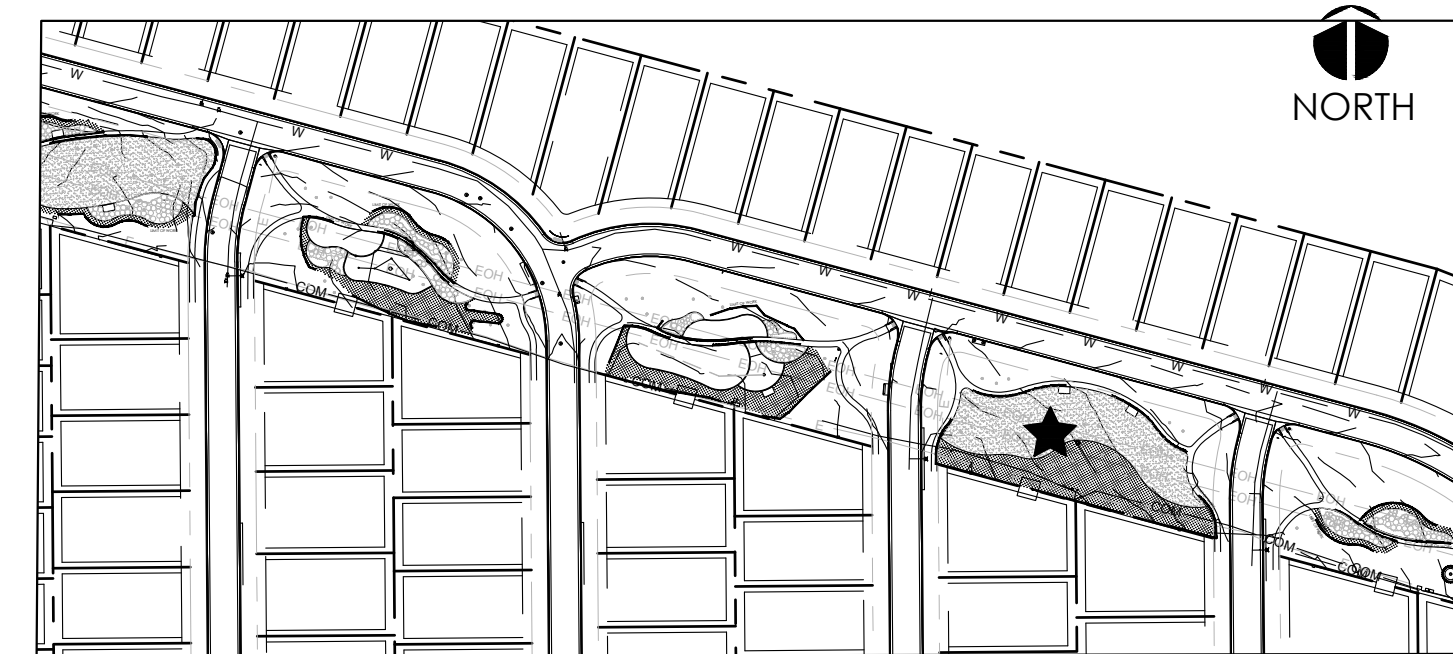
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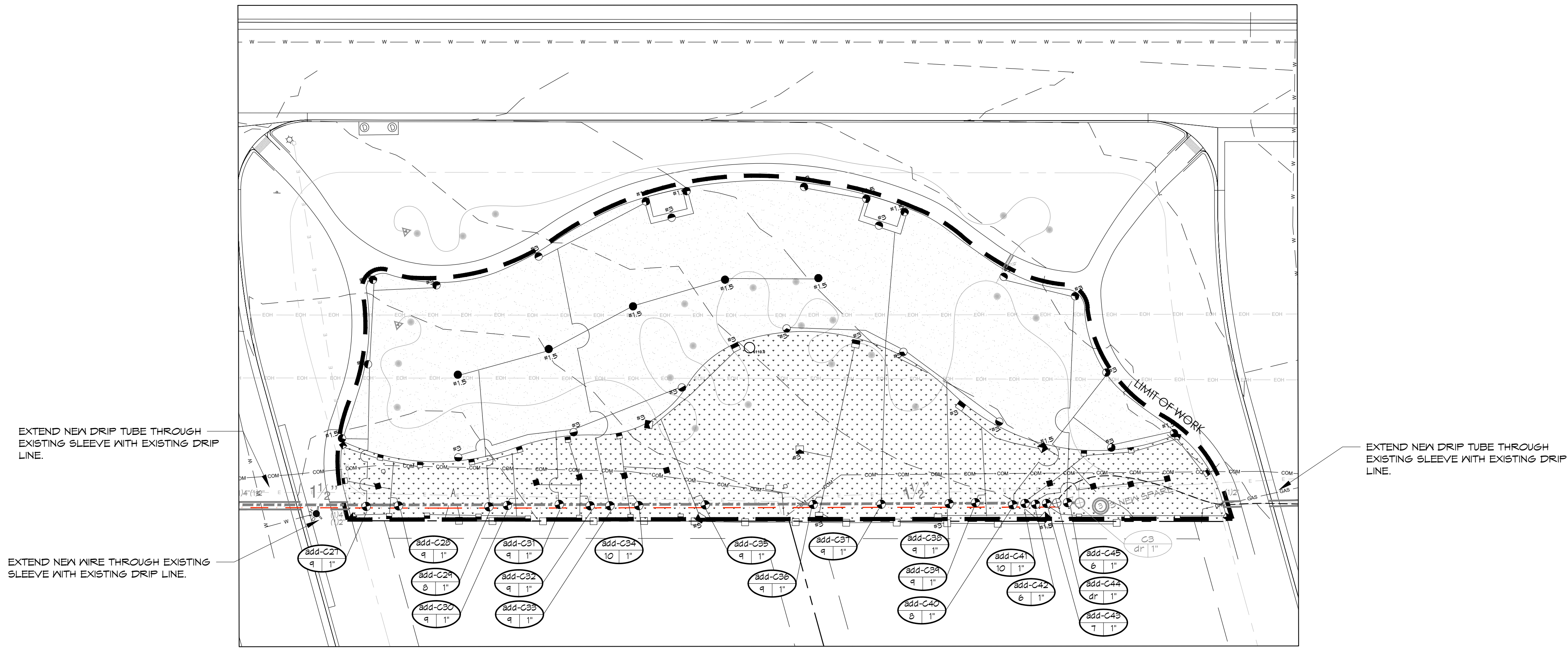
**PARCEL 4 -- IRRIGATION PLANS**  
 LEYDEN ROCK COMMUNITY IMPROVEMENTS  
 LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**IR-6**

**KEY MAP**



EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.

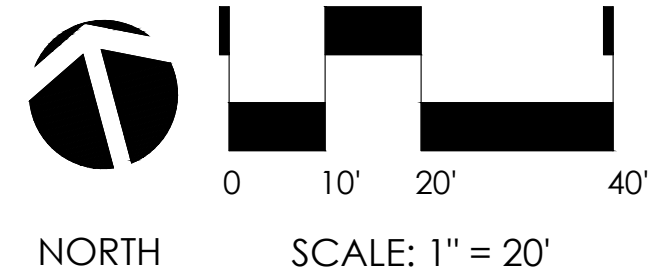


**IRRIGATION PLAN**

EXTEND NEW DRIP TUBE THROUGH EXISTING SLEEVE WITH EXISTING DRIP LINE.

EXTEND NEW WIRE THROUGH EXISTING SLEEVE WITH EXISTING DRIP LINE.

EXTEND NEW DRIP TUBE THROUGH EXISTING SLEEVE WITH EXISTING DRIP LINE.



DIRECTORY	
IRRIGATION SCHEDULE	IR-1
IRRIGATION NOTES	IR-1
IRRIGATION PLANS	IR-2 - IR-8
IRRIGATION DETAILS	IR-8



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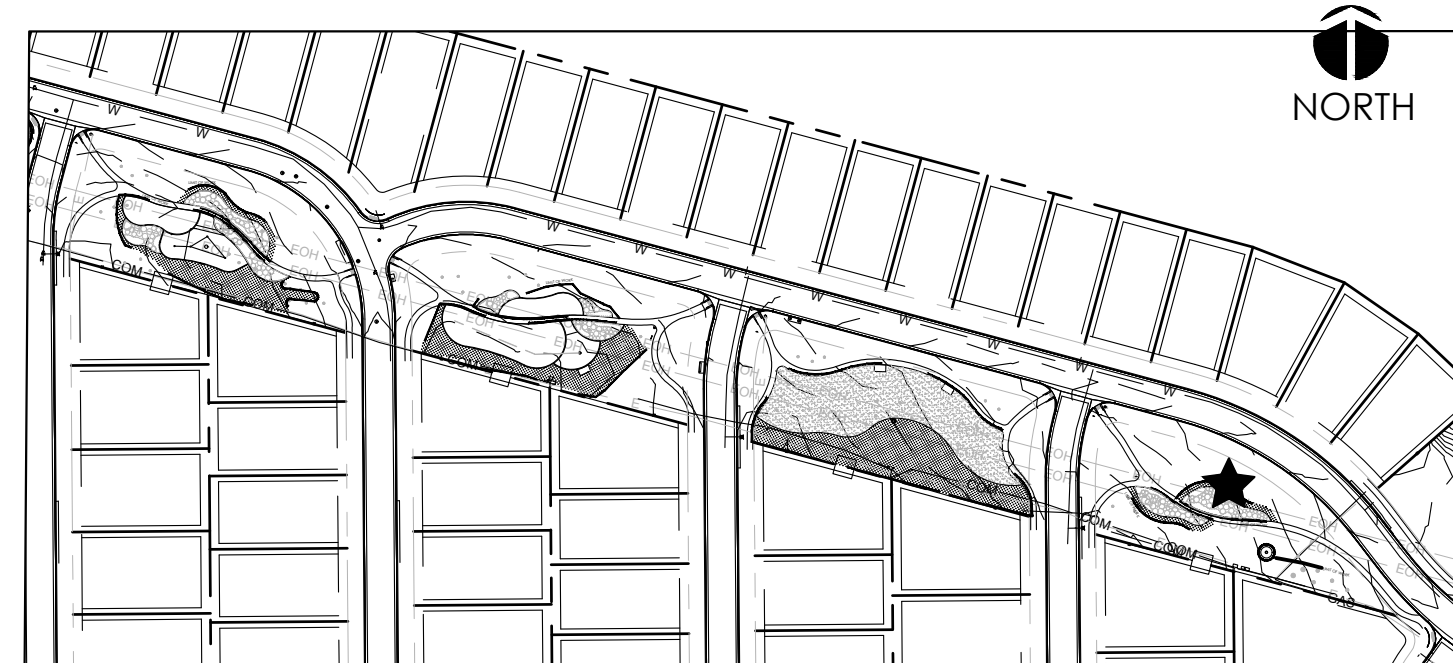
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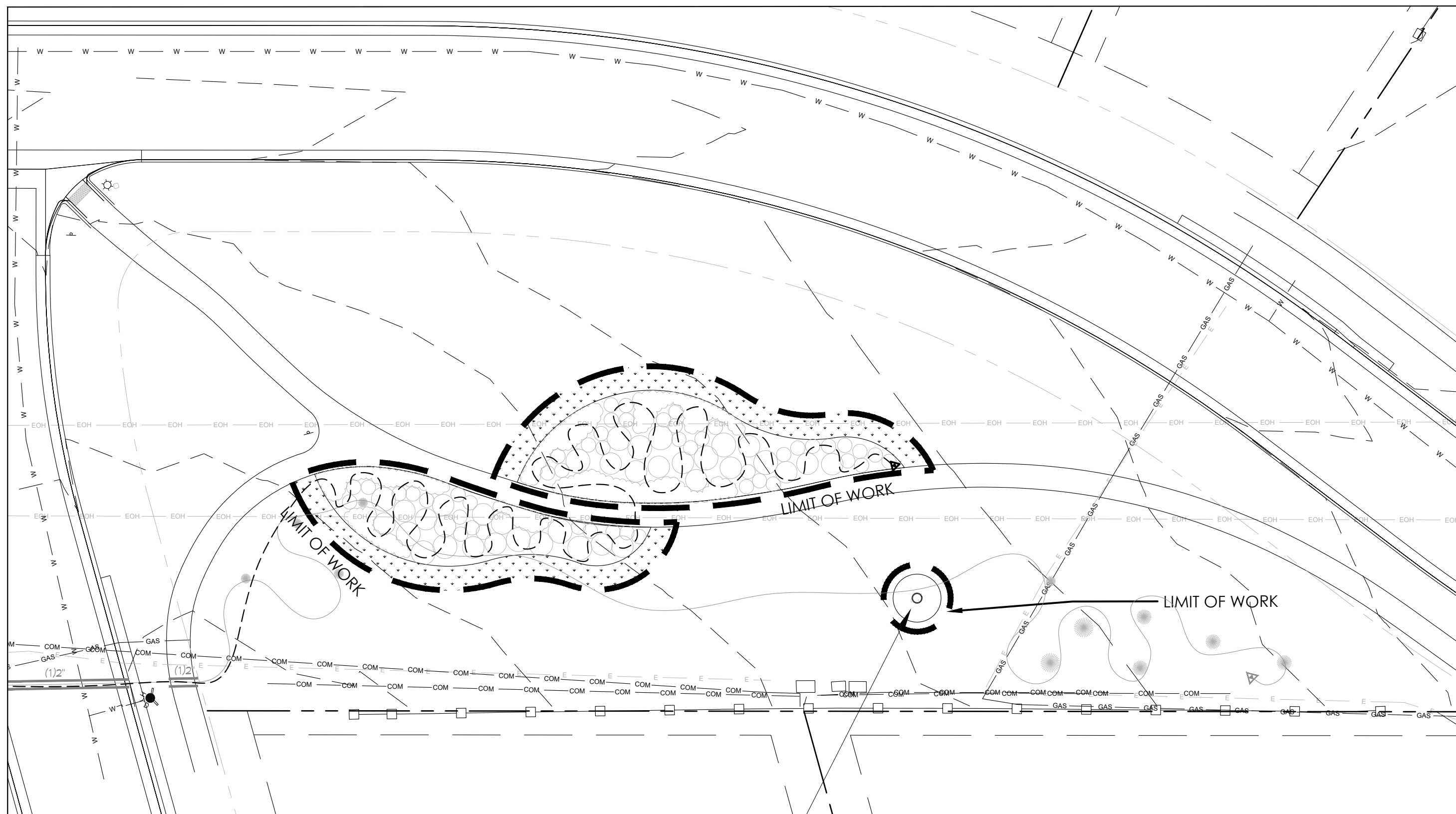
**PARCEL 5 - IRRIGATION PLANS**  
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**IR-7**

**KEY MAP**

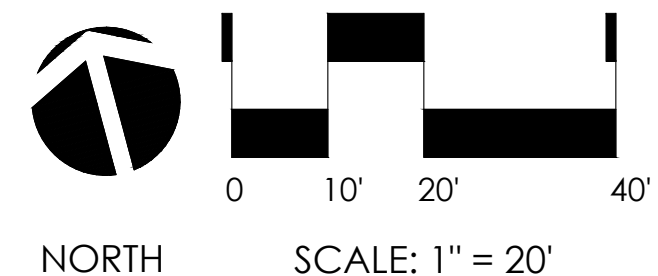


EXISTING IRRIGATION DAMAGE - CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE AND PAID FOR BY THE LANDSCAPE CONTRACTOR.



**IRRIGATION PLAN**

CONTRACTOR TO LOCATE AND PROTECT EXISTING DRIP LINE IN THIS APPROXIMATE LOCATION. ADD EMITTERS FOR NEW TREE.



DIRECTORY	
IRRIGATION SCHEDULE	IR-1
IRRIGATION NOTES	IR-1
IRRIGATION PLANS	IR-2 - IR-8
IRRIGATION DETAILS	IR-8



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**PARCEL 6 - IRRIGATION PLANS**  
LEYDEN ROCK COMMUNITY IMPROVEMENTS  
LEYDEN ROCK METROPOLITAN DISTRICT, COLORADO

**SHEET:**  
**IR-8**

